

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Pat Flanagan,



Reference Number: DED 942
Application Received: 8th August, 2025
Name of Applicant: Pat Flanagan
Agent: James Lohan Consulting Engineer Ltd., Unit 6, Ballypheason House,
Circular Road, Roscommon.

WHEREAS a question has arisen as to whether the internal completion of a dwelling house with works including: 1)plasterboard walls & ceilings; 2)plastering & skimming; 3)second fix carpentry, paint & decorate internally; 4)complete plumbing/heating system; 5)complete electrical systems; 6)fitted kitchen; 7)tiling & bathroom & 8)timber floors, carpets, etc., at Ballytrasna, Boyle, Co. Roscommon, is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, (as amended),
- b) Articles 6 and 9 of the Planning and Development Regulations, 2001, (as amended),
- c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 (as amended) and
- d) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- The works outlined above are development.
- The proposed refurbishment of a dwelling fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:
development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;
- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development; the internal completion of a dwelling house with works including: 1)plasterboard walls & ceilings; 2)plastering & skimming; 3)second fix carpentry, paint & decorate internally; 4)complete plumbing/heating system; 5)complete electrical systems; 6)fitted kitchen; 7)tiling & bathroom & 8)timber floors, carpets, etc., at Ballytrasna, Boyle, Co. Roscommon, is development that is **exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 28 August, 2025

c.c.: James Lohan Consulting Engineer Ltd.,
Unit 6,
Ballypheason House,
Circular Road,
Roscommon.

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Coimisiún Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

ADVICE NOTE

This Declaration is based on the relevant Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended) at the date of issue. In the event that the Planning and Development Act 2000 (as amended) or the Planning and Development Regulations 2001 (as amended) change prior to the works being carried out this Declaration may no longer apply.

**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

| | |
|---------------------------------|---|
| Reference Number: | DED 942 |
| Re: | Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the internal completion of a dwelling house with works including 1)plasterboard walls & ceilings; 2)plastering & skimming; 3)second fix carpentry, paint & decorate internally; 4)complete plumbing/heating system; 5)complete electrical systems; 6)fitted kitchen; 7)tiling & bathroom & 8)timber floors, carpets, etc. |
| Name of Applicant: | Pat Flanagan |
| Location of Development: | Ballytrasna, Boyle, Co. Roscommon |
| Site Visit: | 21/08/2025 |

WHEREAS a question has arisen as to whether the following works; for the internal completion of a dwelling house at the above address is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

Site Location & Development Description

The site consists of a north facing, two-story dwelling with a garden area surrounding the property located at Ballytrasna, Boyle, Co. Roscommon. The property is accessed off the L-50591 road. The proposed development consists of the internal completion of the dwelling with works including the plasterboarding of walls and ceilings, plastering and skimming, secondary fix of carpentry, painting & decorating internally, completion of plumbing and heating system, completion of electrical systems, fitting of kitchen, tiling & bathroom and insertion of timber floors, carpets, etc.

There are no European designated sites in, adjoining or in close proximity to the subject site. There is no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS.

Archaeological and Cultural Heritage

No RMP recorded in the likely zone of influence of the development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the development.

Appropriate Assessment

The closest European site to the site of the proposed development is Lough Gara SPA (Site Codes 004048) which is located circa 8.3km to the west.

Other destinations include Tullaghan Bog NHA (Site Code 001652) which is located circa 5.8km to the south, Lough Drumharlow PNHA (Site Code 001643) which is located circa 7.3km to the east and Drumman's Island (Lough Key) PNHA (Site Code 001633) which is located circa 2.4km to the north.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

Planning History

PD/06/152

Development Description: To erect a dwelling house and garage, and to construct a septic tank system incorporating a proprietary effluent treatment unit

Applicant: Mr. John Keenan

Decision: Conditional

Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2. -(1)

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3. -(1)

In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1) of the Act defines certain types of development as being 'exempted development'. Of potential relevance is section 4(1)(h) which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9 (1) applies;

Development to which article 6 relates shall not be exempted development for the purposes of the Act

viiB) comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

Assessment:

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said works constitute development, as defined in Section 3 of the said Act.

The proposal includes the internal completion of the dwelling with works including the plasterboarding of walls and ceilings, plastering and skimming, secondary fix of carpentry, painting & decorating internally, completion of plumbing and heating system, completion of electrical systems, fitting of kitchen, tiling & bathroom and insertion of timber floors, carpets, etc. These works have considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighboring structures. The proposed works are deemed an exempt development.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

WHEREAS a question has arisen as to the internal completion of a dwelling at Ballytrasna, Boyle, Co. Roscommon is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

AND WHEREAS I have concluded that

- The works outlined above are development.
- The proposed internal completion of the existing dwelling as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

AND WHEREAS I have concluded that the said development for the internal completion of a dwelling at Ballytrasna, Boyle, Co. Roscommon, is an exempted development. I recommend that a declaration to that effect should be issued to the applicant.

Seán Tiernan

Signed:

Date: 22nd August 2025

Planner



Signed:

Date: 26th August 2025

Senior Executive Planner









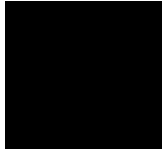




Comhairle Contae
Ros Comáin
Roscommon
County Council



Pat Flanagan,



Date: 14th August, 2025
Planning Reference: DED 942

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: WHEREAS a question has arisen as to whether the internal completion of a dwelling house with works including 1)plasterboard walls & ceilings; 2)plastering & skimming; 3)second fix carpentry, paint & decorate internally; 4)complete plumbing/heating system; 5)complete electrical systems; 6)fitted kitchen; 7)tiling & bathroom & 8)timber floors, carpets, etc at Ballytransa, Boyle, Co. Roscommon., is or is not development and is or is not exempted development.

A Chara,

I wish to acknowledge receipt of the application which was received on the 8th August, 2025, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No: L01/O/236162 dated 13th August, 2025 receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 942**
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell,
Senior Executive Planner,
Planning Department.

cc agent via email: James Lohan Consulting Engineers Ltd
james@jlce.ie

Roscommon County Council
Aras an Chontae
Roscommon
08068 37100

13/08/2025 10:32 02

Receipt No 1.01/0/236162

PAT FLANAGAN

C/O JAMES LOHAN CONSULTING ENGINEERS LTD
CIRCULAR RD
ROSCOMMON

EXEMPTED DEVELOPMENT

| | |
|---------------------------|-------|
| PLANNING APPLICATION FEES | 80 00 |
| GOODS | 80 00 |
| VAT Exempt/Non-vatable | |
| DED942 | |

| | |
|---------|-----------|
| Total . | 80 00 EUR |
|---------|-----------|

| | |
|------------|-------|
| Tendered . | |
| Cheque | 80 00 |
| 500419 | |

| | |
|--------|------|
| Change | 0.00 |
|--------|------|

Issued By : Louis Carroll
From : Central Cash Office



Comhairle Contae
Ros Comáin
Roscommon
County Council

Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development

| | |
|---|---|
| Name of Applicant(s) | PAT FLANAGAN |
| Name of Agent | JAMES LOKAN |
| Nature of Proposed Works | INTERNAL COMPLETIONS OF A DWELLING HOUSE |
| Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No. | BALLYTRASNA, BOILE, ROSCOMMON 1740-C |
| Floor Area: a) Existing Structure b) Proposed Structure | a) 300 SQ.M b) N/A |
| Height above ground level: | 300mm |
| Total area of private open space remaining after completion of this development | 3100 m ² |
| Roofing Material (Slates, Tiles, other) (Specify) | EXISTING SLATES NO CHANGES PROPOSED |

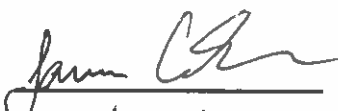


Roscommon County Council

Application for a Declaration under Section 5 of the

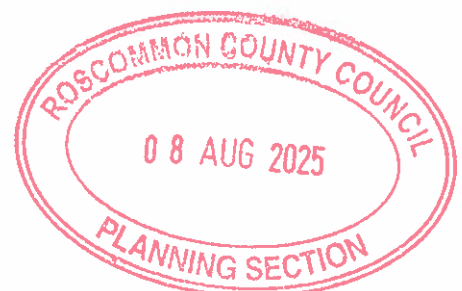
| | |
|--|---------------------------|
| Proposed external walling (plaster, stonework, brick or other finish, giving colour) | EXISTING |
| Is proposed works located at front/rear/side of existing house. | NO INTERNAL |
| Has an application been made previously for this site | NO |
| If yes give ref. number (include full details of existing extension, if any) | N/A |
| Existing use of land or structure | PARTIALLY COMPLETED HOUSE |
| Proposed use of land or structure | DWELLING HOUSE |
| Distance of proposed building line from edge of roadway | 20m EXISTING |
| Does the proposed development involve the provision of a piped water supply | NO |
| Does the proposed development involve the provision of sanitary facilities | NO |

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature: 
Date: 06/08/25

Note: This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



Planning Dept,
Roscommon Co.Co.
Aras An Chontae,
Roscommon.

Detailed Specification Of The Development Proposed

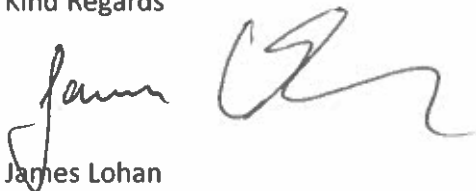
Ref: Pat Flanagan, Ballytrasna, Boyle, Roscommon

The property is being finished after being left at shell and core stage for approx 18 years it will now be completed and put in use as a family home.

The works involved are as follows:

1. Plaster Boarding walls and ceilings
2. Plastering and skimming
3. Second fix carpentry and paint and decorate internally.
4. Complete plumbing/heating system.
5. Complete electrical systems.
6. Fitted Kitchen
7. Tiling and Bathrooms
8. Timber floors, carpets etc.

Kind Regards



James Lohan

James Lohan Consulting Engineer Ltd,
Unit 6, Ballypheason House, Circular Road
Roscommon F42 T384



PHOTO SURVEY OF INTERNAL CONDITION
SHOWING
WORKS TO BE COMPLETED



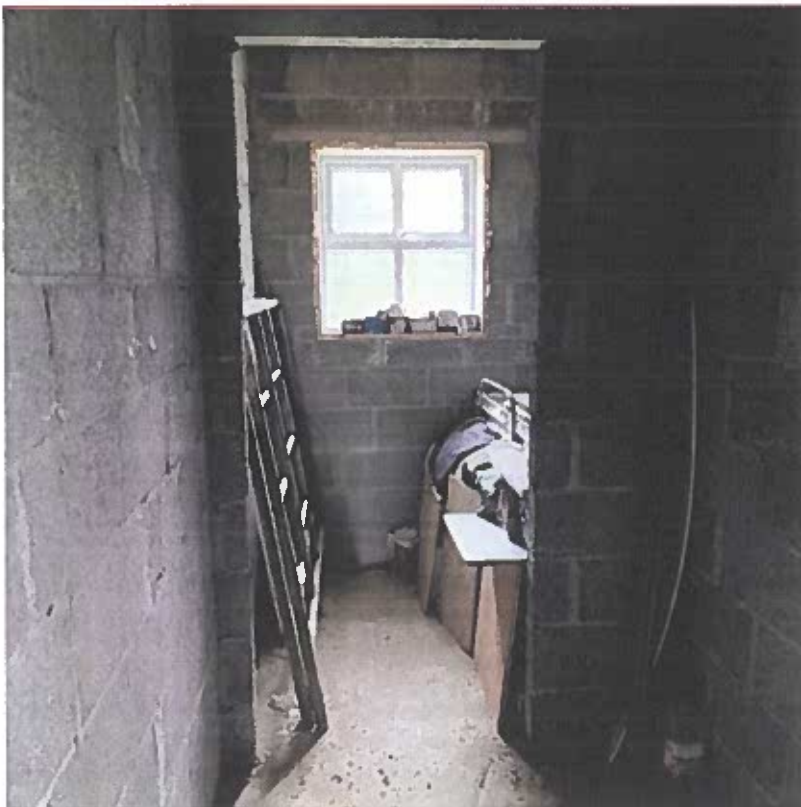


6.0 5

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



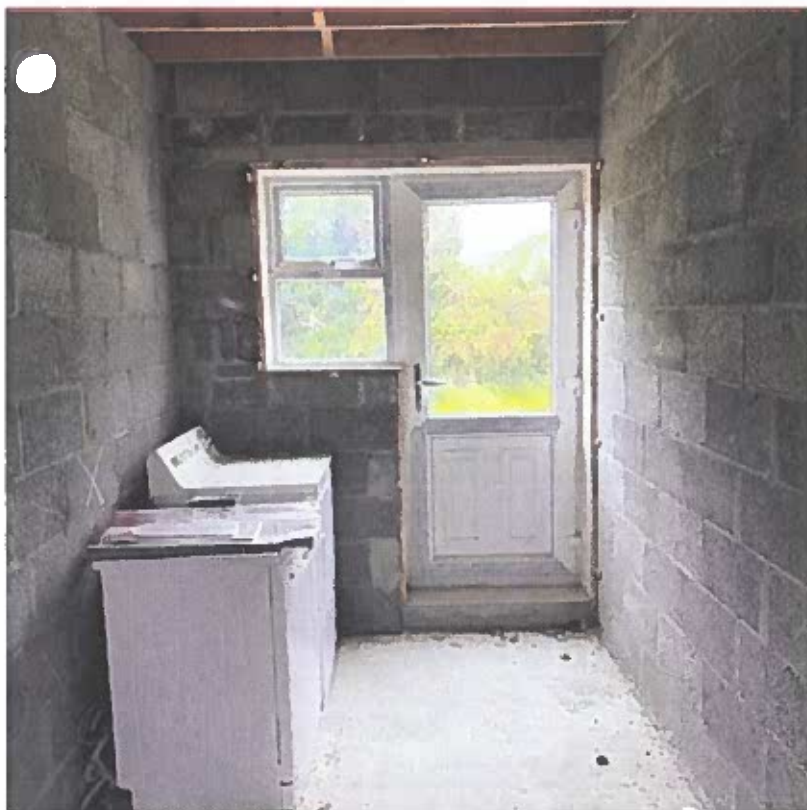
6.0 6

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.





6.0 7

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



6.0 8

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.





6.0 9

Location Internal

No structural defects noted.

House is under construction with following works to be completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



6.0 10

Location Internal

No structural defects noted.

House is under construction with following works to be completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.





6.0 11

Location Internal

No structural defects noted.
House is under construction with following works to be completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



6.0 12

Location Internal

No structural defects noted.
House is under construction with following works to be completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.





6.0 13

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



6.0 14

Location Internal

No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.





6.0 15

Location Internal

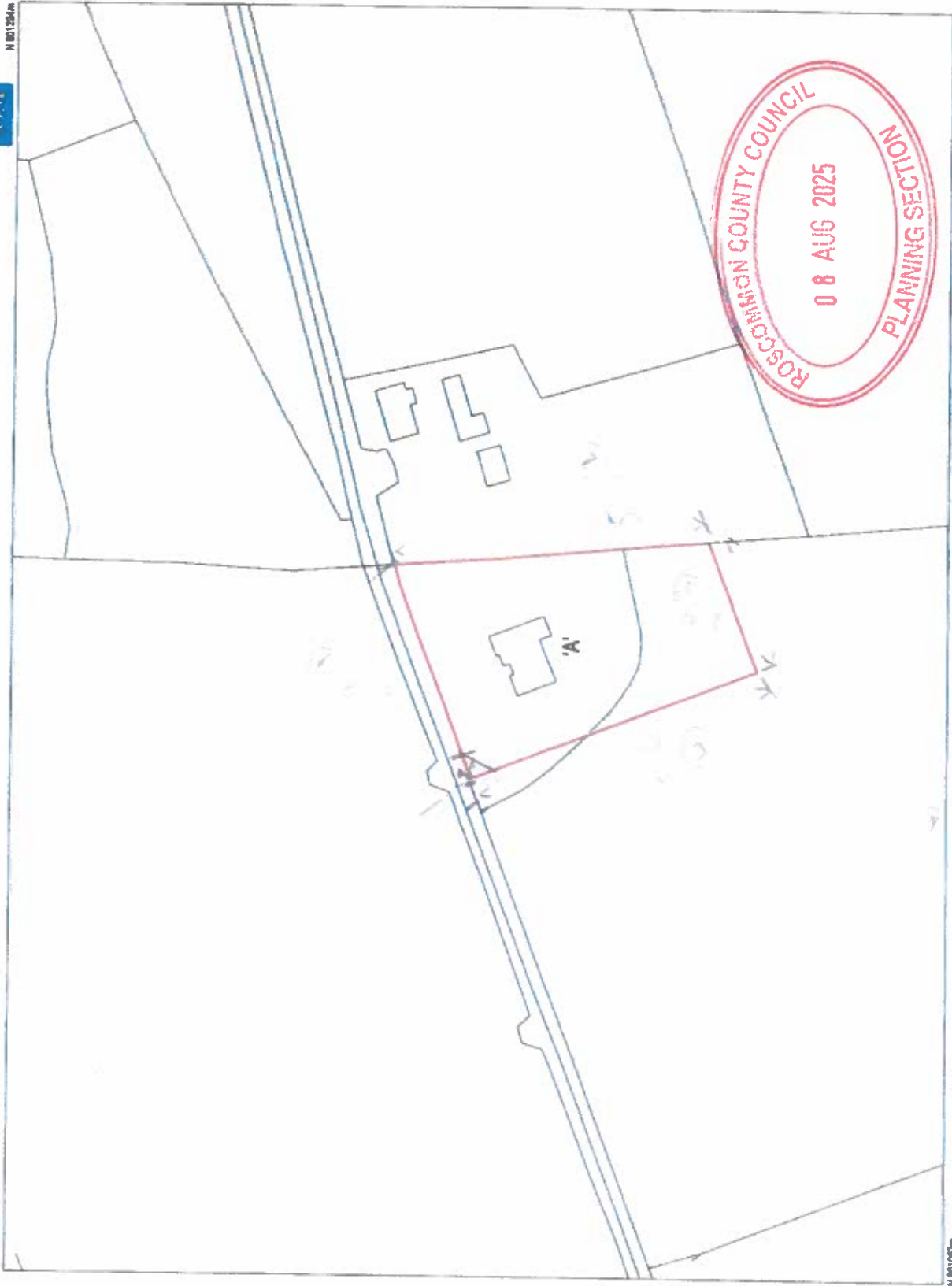
No structural defects noted.
House is under construction
with following works to be
completed -

First and second fix electrics,
First and second fix plumbing,
Plaster-boarding, plastering,
Finish floor and completions.



Land Registry Compliant Map

Computer Generated



Scale: 1:1000
Datum: 1900

Plot Ref. No. 7023, B4, PW
Plot Date: 10th May 2023

ITM CENTRE PT. CO. 6
E 881657m, N 801176m

MAP SHEETS
Digital Map 1760-C

DESCRIPTION

Map Produced by:
Jennings O'Donovan & Partners Limited

Signed: Brendan Mahoney.

Date: 10/05/2023

REFERENCE:
FOLIO RN 10743

Leased.

Area marked 'A' lined in RED =
0.340 Hectares (0.840 Acres)

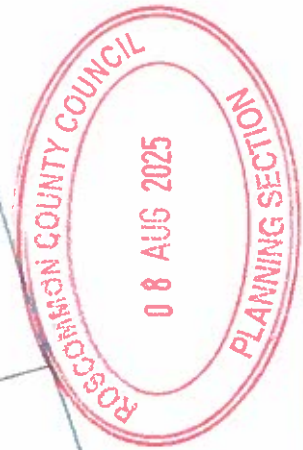
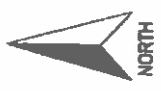


JENNINGS O'DONOVAN
CONSULTING ENGINEERS
Jennings O'Donovan & Partners Limited,
Consulting Engineers
Finiskin Business Park, Sligo, Ireland.
Tel +353 71 9161416
Email: info@jodireland.com
Web: www.jodireland.com



National Mapping Agency

Ordnance Survey Ireland
Licence No. CYAL 50313915
Ordnance Survey Ireland/
Government of Ireland





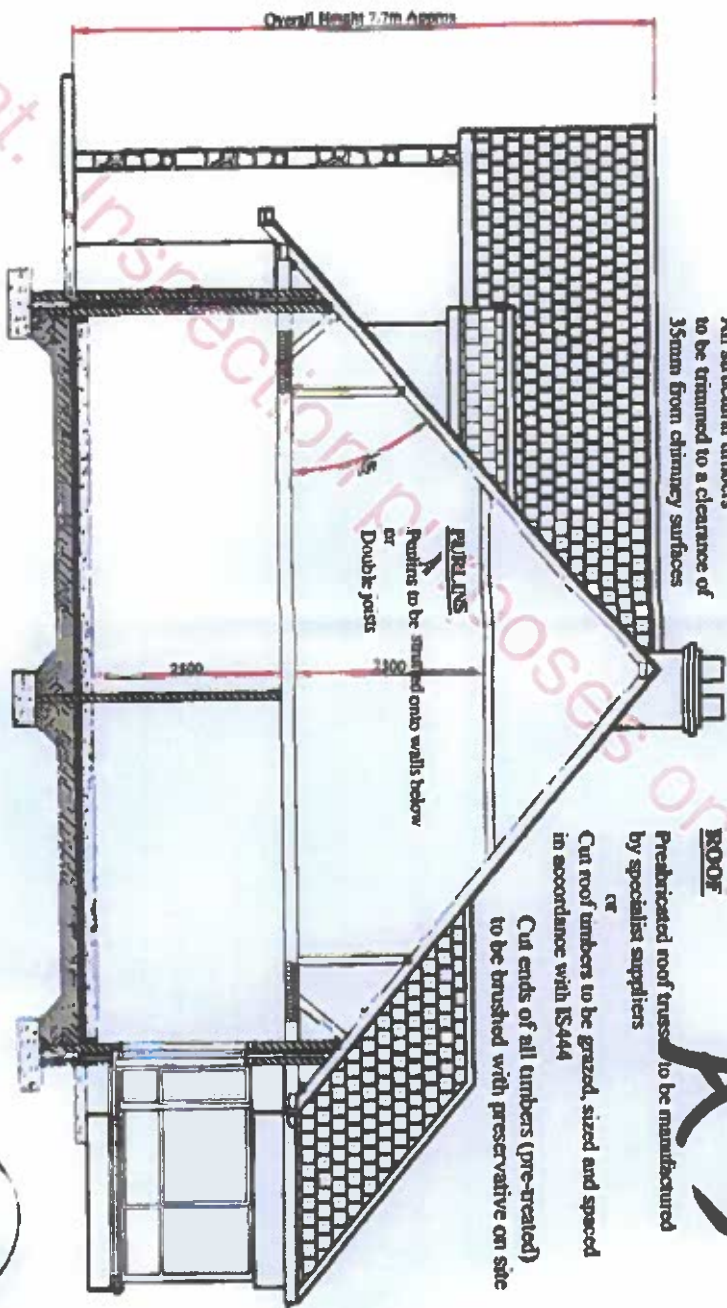
RISING WALLS
330mm solid walls
or
Lean mix fill to cavity
to 225mm below DPC

CHIMNEY

All structural timbers
to be trimmed to a clearance of
35mm from chimney surfaces

ROOF

Prefabricated roof truss to be manufactured
by specialist suppliers
or
Cut roof timbers to be grazed, sized and spaced
in accordance with BS444
Cut ends of all timbers (pre-treated)
to be brushed with preservative on site



SMOKE ALARMS

To be installed in accordance
with BS 5839 Part 6: 1998, at least to Grade E
(mains powered smoke alarms)
in circulation areas - hallway, corridors

FLOOR

50mm sand/cement screed on 100mm
slab on 100mm standard density polystyrene
OR
70mm high density polyurethane underfloor
insulation on 1200 gauge DPM/membrane barrier
on sand blinding on hardcore incorporating
radon trap.

SECTION A - A 1:100

FOUNDATION

900mm x 375mm external walls with 48R11 steel bars
450mm x 375mm internal walls with 28R11 steel bars
min 750mm below GL
OR
Raft foundations to Engineers Design

Total Gross internal Floor Area 300.4 Sqm

WASTE DISPOSAL

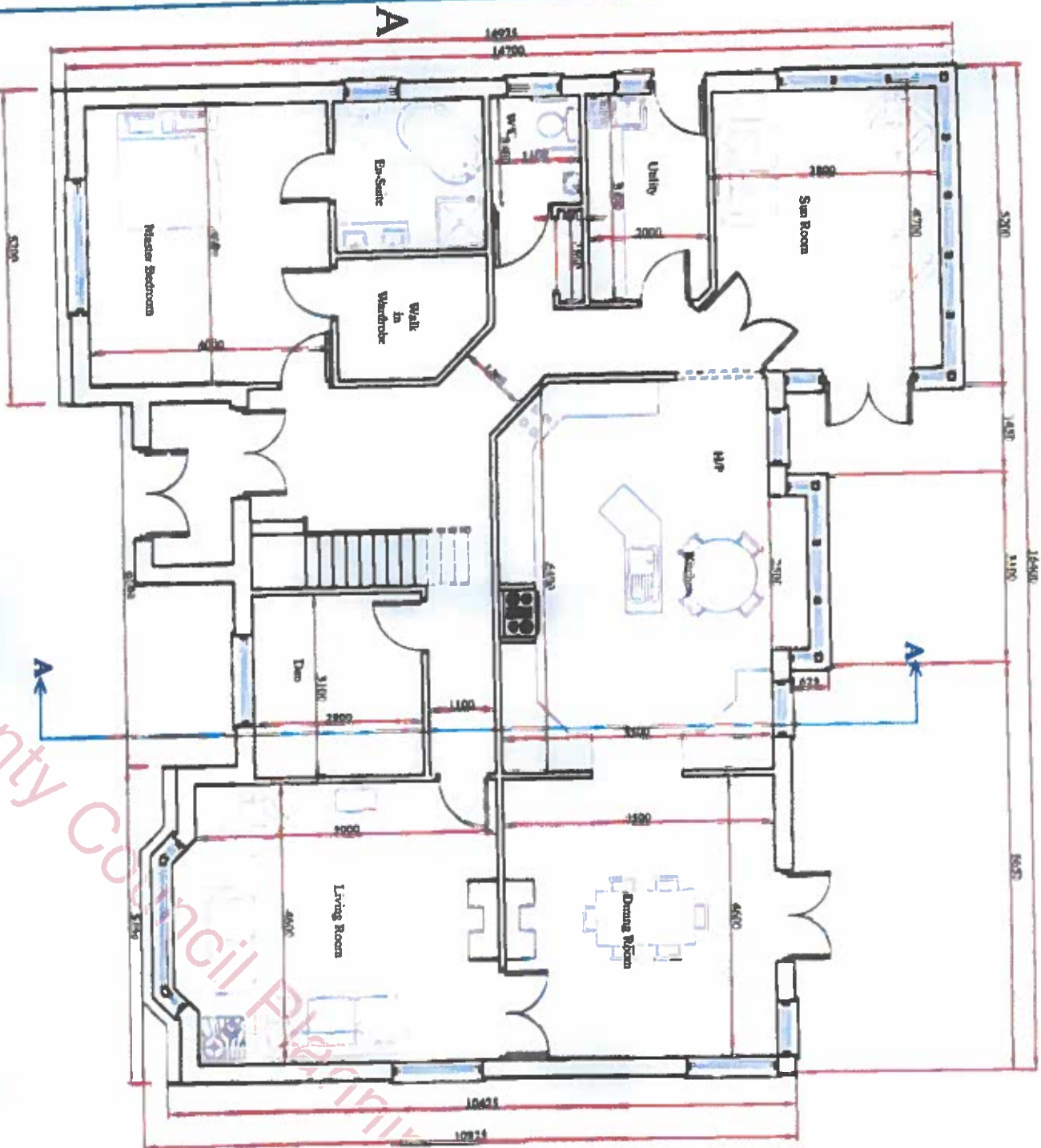
100mm dia. "WAVESSEVER" system
to MAIN TANK / SEPTIC TANK.

VENTILATION

Requirements of TGD F 2002
(Building Regulations)
must be complied with.
In particular ventilation to roof spaces,
kitchens, utility areas etc. as recommended under
TGD F (2002) must be installed.

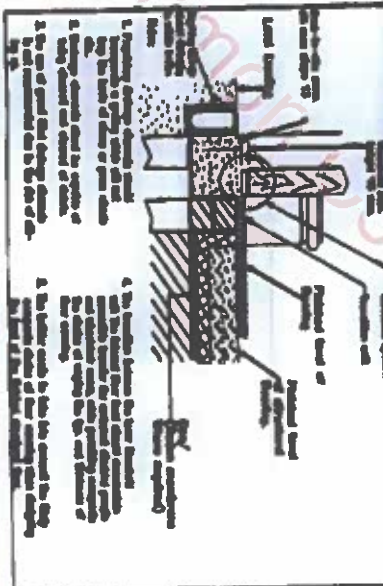
ACCESS TO BUILDING FOR DISABLED PERSONS
(TGD M of Building Regulations)

Ramped access, min 1:15 to main entrance door
Min. width of ramp: 900mm, with safety hatch
Level area 1200 x 1200 outside entrance door
Position / direction of access ramp dependent on site conditions
External and internal doors open to recommended dimensions
Layout of wheelchair accessible W.C. or bathroom as recommended
Position of lifts, stairs and other electrical fittings as recommended



Ground Floor Plan 1:100

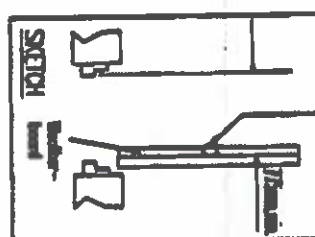
ACCESS AND A DRILLING



ACCESS AND A DRILLING

- Show the approach to a building entrance to
level or sloped, the entrance should be suitable
for wheelchair access.
- The clear opening width of
wheelchair accessible entrance
750mm, see details opposite.
- Accessible entrance should be
level or sloped to be suitable
for wheelchair access, i.e. min. 1:15
gradient, see details.
- Suitable entry glasses and windows should be
located a height between 800mm, and 1200mm,
above floor level.

Door

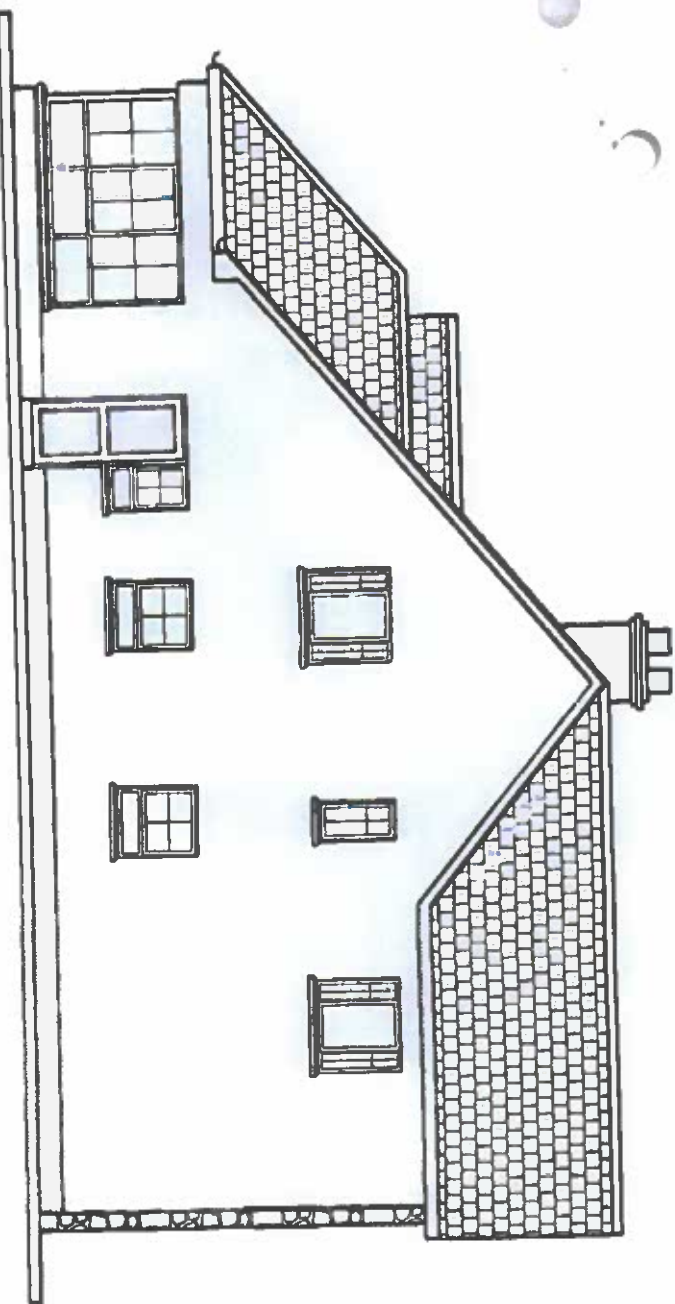


MARY O HARA & ASSOCIATES
CIVIL ENGINEERS
PLANNING & DESIGN CONSULTANTS

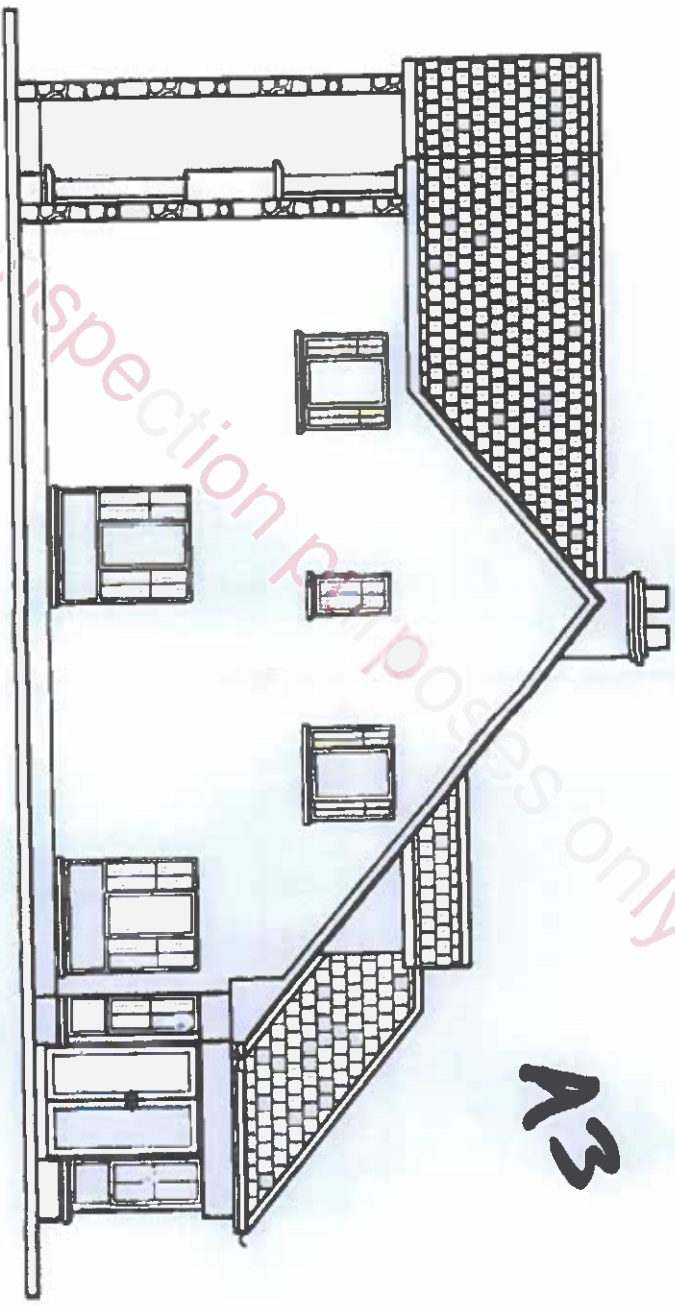
Worklet Street,
Ballophodreen,
Co. Roscommon. email: ohara@ofcom.net

Phone: 094 9861515
Fax: 094 9861516

CLIENT : ROBIN NEEDHAM
TITLE : PLAN & SECTION
DATE : OCT 06
SCALE : 1:100
DRAWN : Thomas Garvin
CHECKED :
DRAWING NO. : 06 / 2704



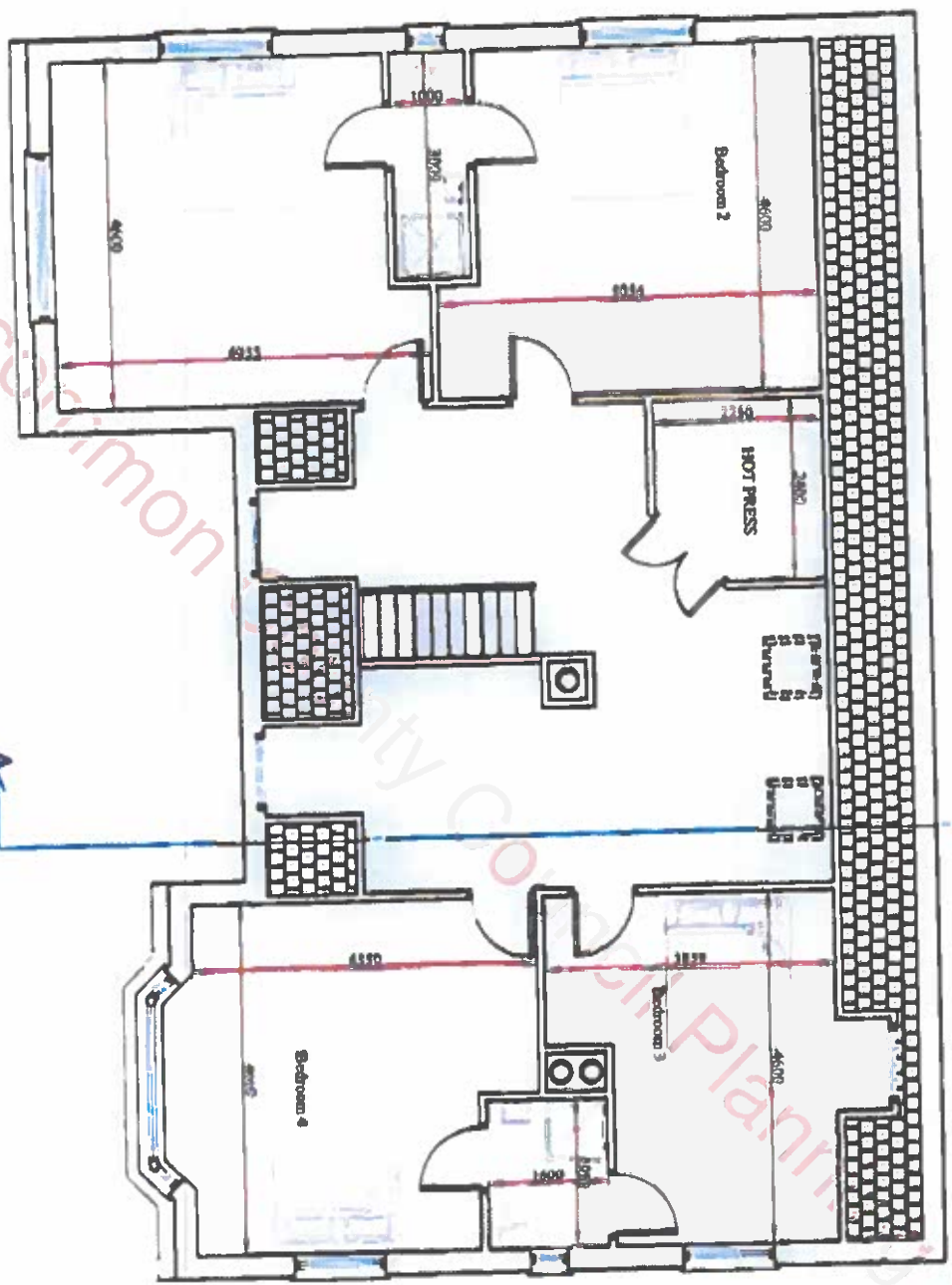
Side Elevation A 1:100



Side Elevation B 1:100

A3

ROSCOMMON CO. COUNCIL
- 1 NOV 2006
RECEIVED



1st Floor Plan 1:100

B

DOOR OPENS

Door Opens in blockwork at ground level to be 900mm wide to accommodate installation of doors to yield 800mm clear openings.

EXTERNAL FINISHES

Walls: easy plaster/ dry rub
Roof: blue/black slates or tiles
Windows: - UPVC, double glazed
Ext. Doors: - hardwood or PVC
Facts & Softs: - UPVC
Rearwater goods: - seamless aluminium

BADON PROTECTION MEASURES

Install a radon resisting membrane which has either IAB or BAB Certification or their equivalent
Install a proprietary radon sump in accordance with manufacturers instructions

ROSCOMMON COUNTY COUNCIL
08 AUG 2025
PLANNING SECTION

ALL MATERIALS, METHODS AND WORKMANSHIP IN CONNECTION WITH THE CONSTRUCTION OF THIS DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS OF THE RELEVANT BUILDING REGULATIONS AND WITH ANY APPLICABLE PLANNING OR FIRE SAFETY CERTIFICATE CONDITIONS.
IT SHALL BE THE RESPONSIBILITY OF THE BUILDING CONTRACTOR TO ENSURE SUCH COMPLIANCE.

ALL DIMENSIONS TO BE CHECKED ON SITE.
(level unless otherwise indicated)
ENGINEER TO BE NOTIFIED OF ANY APPARENT DISCREPANCIES PRIOR TO COMMENCEMENT.

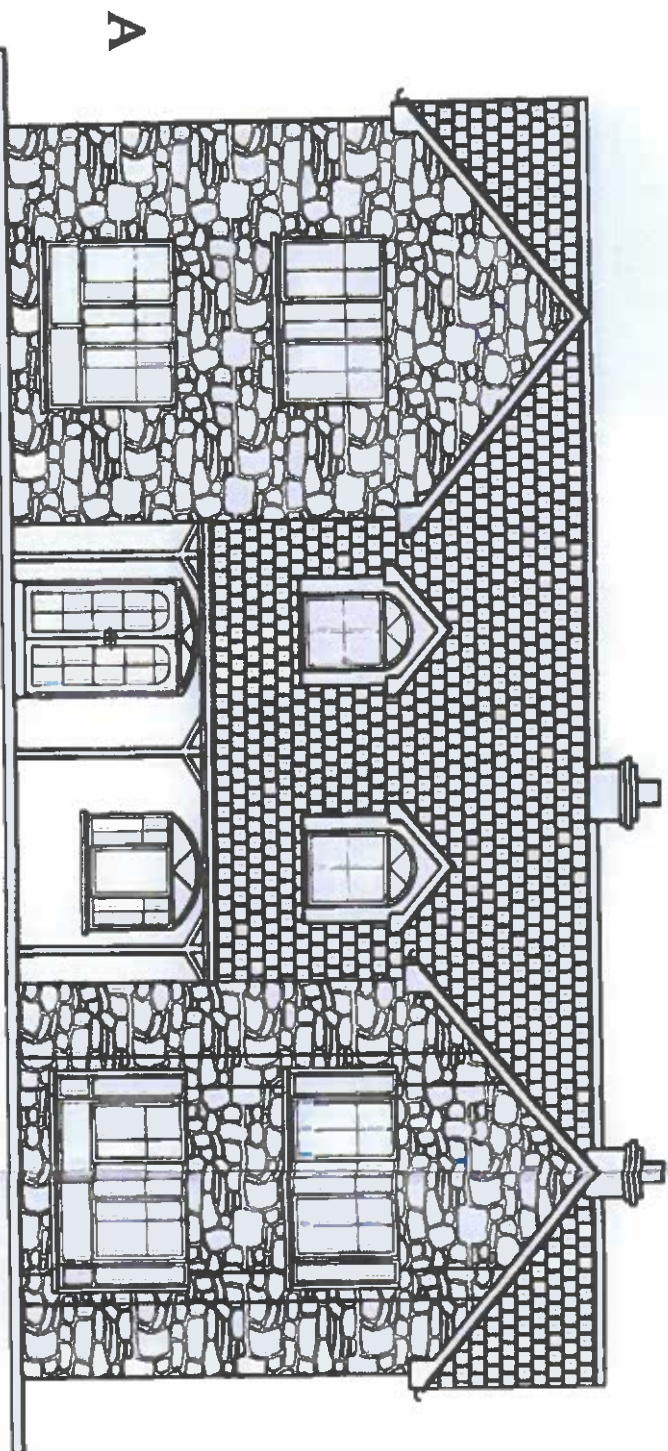
THIS DRAWING HAS BEEN PREPARED FOR PLANNING APPLICATION PURPOSES ONLY AND SHOULD BE READ WITH REFERENCE TO THE RELEVANT PLANNING PERMISSION AND ANY ATTACHED CONDITIONS.

| NO | REVISION | DATE |
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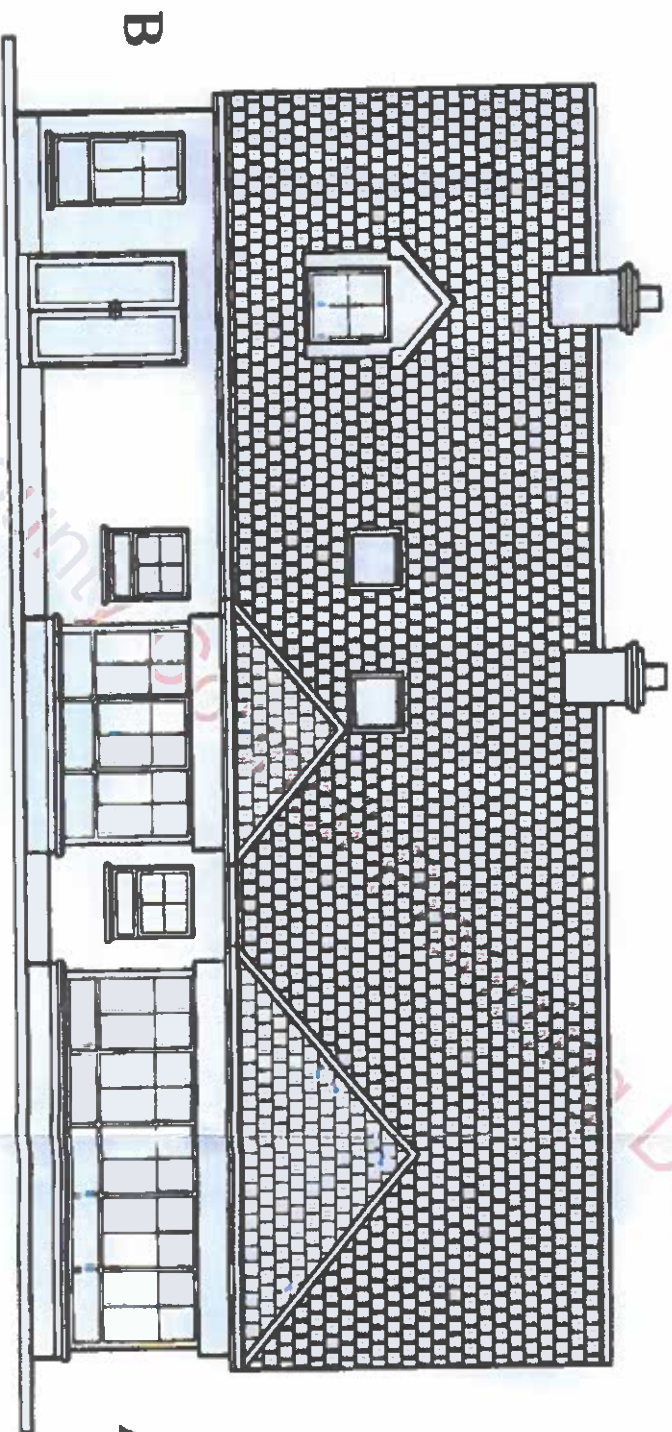
MARY O'HARA & ASSOCIATES
CIVIL ENGINEERS
PLANNING & DESIGN CONSULTANTS

Market Street,
Ballynagreen,
Co. Roscommon.
Phone: 094 9861515
Fax: 094 9861516
email: ohara@oharad.com

CLIENT: JOHN KEDDAN
Scale: Elevation & 1st Floor Plan
DATE: OCT 06
SCALE: 1:100
DRAWN: Thomas Garvin
CHECKED: 06/11/06



Front Elevation 1:100



Rear Elevation 1:100

FITTINGS/FINISHES/FIXTURES

ALL ELECTRICAL INSTALLATIONS & FITTINGS, ALL SANITARY WARE, HEATING SYSTEMS AND OTHER PLUMBING FITTINGS AND ALL JOINERY FITTINGS AND FIXTURES to be installed according to clients instructions and in accordance with the relevant Codes of Practice or standards used in particular with the requirements of TGD M of Building Regulations.

STAIRS

To comply with TECHNICAL GUIDANCE DOCUMENT N° BUILDING REGULATIONS 1997 min. width = 800 mm. optimum min. headroom 2.0m. (measured vertically) optimum rise = 175 mm. optimum going = 275 mm. optimum pitch = 35 degrees

FIRE ESCAPE WINDOWS

Windows for fire escape to have an opening at sill level of 850mm x 500mm with sill height over floor 1.100m max. Any windows with a sill height below 800mm to be fitted with a safety glass or appropriate guarding

WALLS

100 conc. block outer leaf
115 cavity with 100mm mineral wool bat insulation
OR
100 cavity with 80mm polyurethane insulation
100 conc. block inner leaf
Cavity wall ties as per regulations.

ALL MATERIALS, METHODS AND WORKMANSHIP IN CONNECTION WITH THE CONSTRUCTION OF THIS DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS OF THE RELEVANT BUILDING REGULATIONS AND WITH ANY APPLICABLE PLANNING OR FIRE SAFETY CERTIFICATES CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE DESIGNER/BUILDING CONTRACTOR TO ENSURE SUCH COMPLIANCE.

ALL DIMENSIONS TO BE CHECKED ON SITE. Final written drawings only. EXCLUDED TO BE TOLERATED OF ANY APPLICABLE DISCREPANCIES REFER TO CONSTRUCTION.

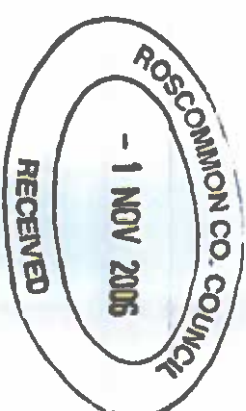
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NO REVISION DATE

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PLANNING & DESIGN CONSULTANTS

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Email: ohera@eircom.net

CLIENT: JOHN KEENAN
TITLE: EXCHANGERS
DATE: OCT 06
SCALE: 1:100
DRAWING NO.: 106/2784



A3