

**ROSCOMMON COUNTY COUNCIL**

**PLANNING AND DEVELOPMENT ACT, 2000 (as amended)**

**SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**NOTIFICATION OF DECISION**

**REGISTERED POST**

Shane Malone,

**Reference Number:** DED 919  
**Application Received:** 2<sup>nd</sup> July, 2025  
**Name of Applicant:** Shane Malone  
**Agent:** Andrew Leaver MSCSI MRICS Chartered Building Surveyor

**WHEREAS** a question has arisen as to whether the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works at Abbeytown, Boyle, Co. Roscommon., is or is not development and is or is not exempted development:

**AND WHEREAS** Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended.
- (c) Class 1, 2 and 5 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended.
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site.

**AND WHEREAS** Roscommon County Council has concluded that:

- (a) The works outlined are development.
- (b) The proposed extension to rear of a dwelling house as described in this case is an exempted development.
- (c) The proposed heat pump to the rear of the dwelling house as described in this case is an exempted development.
- (d) The proposed boundary fence to rear of a dwelling house as described in this case is an exempted development.
- (e) The completed renovation and material alterations to a dwelling house as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:  
*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*  
And is considered as described in this case is an exempted development, provided the replica chimneys are built as per the documents submitted.
- (f) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

**NOW THEREFORE:**

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development for the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works in Abbeytown, Boyle, Co. Roscommon, is development that is **exempted development**, provided that the replica chimneys are built as per the documents submitted, as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

**Signed on behalf of the Council:**



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**Alan O'Connell,  
Senior Executive Planner,  
Planning.**

**Date: 15<sup>th</sup> August, 2025**

cc agent via email: **Andrew Leaver MSCSI MRICS Chartered Building Surveyor**  
[andrew.leaver@gmail.com](mailto:andrew.leaver@gmail.com)

**ADVICE NOTE**

**Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.**

## Carmel Curley

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**From:** Carmel Curley  
**Sent:** Friday 15 August 2025 15:26  
**To:** Andrew Leaver  
**Subject:** DED 919 - Shane Malone  
**Attachments:** DED919 - Notification of Decision.pdf

A Chara,

Please find attached Notification of Decision for the Section 5 Declaration of Exempted Development Application submitted for Shane Malone – DED 919. A hard copy will be issued to the applicant today via registered post.

Mise le meas,

Carmel

Carmel Curley, Staff Officer,  
Planning Department, Roscommon County Council,  
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98  
☎: (090) 6637100

✉: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie) | 🌐 [www.roscommoncoco.ie](http://www.roscommoncoco.ie)

MAP LOCATION



**Planner's Report on application under  
Section 5 of the Planning and Development Act 2000 (as amended)**

<b>Reference Number:</b>	DED 919
<b>Re:</b>	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding exempted development for the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works.
<b>Name of Applicant:</b>	Shane Malone
<b>Location of Development:</b>	Abbeytown, Boyle, Co. Roscommon
<b>Site Visit:</b>	28/07/2025

**WHEREAS a question has arisen as to whether the following works;** for the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works at the above address **is or is not development and is or is not exempted development.**

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 1, 2 and 5 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

#### **Site Location & Development Description**

The subject site is located in Abbeytown, Boyle, Co. Roscommon and is accessed off the L-1032 road. The site contains a semi-detached two story dwelling house. The proposed works are ongoing with the builder and staff on site on the day of inspection. The proposed site works also include the construction of a new concrete post and timber panel fence and party boundary wall to the rear of the property.

There are no European designated sites in, adjoining or in close proximity to the subject site. There is no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS.

#### **Archaeological and Cultural Heritage**

No RMP recorded in the likely zone of influence of the development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the development.

## **Appropriate Assessment**

The closest European sites to the site of the development are Drum Bridge (Lough Key) PNHA (Site Code 001631) which is located circa 1.3km to the northeast and Lough Gara PNHA (Site Codes 000587) which is located circa 4km to the west of the subject site.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

## **Planning History**

As per the Roscommon County Council's Planning Registry, no recent planning history has been traced relating to the subject site. Note DED 850 is for the adjoining property under the same applicant and agent with works/partial works completed in conjunction with this application.

## **Relevant statutory provisions**

### **Planning and Development Acts 2000 (as amended)**

#### **Section 2. -(1)**

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

#### **Section 3. -(1)**

In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1) of the Act defines certain types of development as being 'exempted development'. Of potential relevance is section 4(1)(h) which provides as follows:

*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

### **Planning and Development Regulations, 2001 as amended**

#### **Article 6 (1)**

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

#### **Article 9 (1) applies;**

Development to which article 6 relates shall not be exempted development for the purposes of the Act

viiB) comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

### Class 1 of Part 1 of Schedule 2: Exempted development - General

Description of Development	Conditions and Limitations
<p><i>Development within the curtilage of a house</i></p> <p><b>CLASS 1</b></p> <p>The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</p>	<ol style="list-style-type: none"> <li>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.  (b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.  (c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</li> <li>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.  (b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.  (c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</li> <li>3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</li> <li>4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.  (b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.  (c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</li> <li>5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</li> <li>6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.  (b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces. 388 (c) Where the house is detached and the floor area of the extension above ground level exceeds 12</li> </ol>

	<p>square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p> <p>7. The roof of any extension shall not be used as a balcony or roof garden.</p>
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**Class 2 of Part 1 of Schedule 2: Exempted development - General**

Description of Development	Conditions and Limitations
<p><b>CLASS 2</b></p> <p>(d) The installation on or within the curtilage of a house of a ground heat pump system (horizontal and vertical) or an air source heat pump.</p>	<ol style="list-style-type: none"> <li>1. The level of the ground shall not be altered by more than 1 metre above or below the level of the adjoining ground.</li> <li>2. The total area of such a heat pump, taken together with any other such pump previously erected, shall not exceed 2.5 square metres.</li> <li>3. The heat pump shall be a minimum of 50cm from any edge of the wall or roof on which it is mounted.</li> <li>4. No such structure shall be erected on, or forward of, the front wall or roof of the house.</li> <li>5. Noise levels must not exceed 43db(A) during normal operation, or in excess of 5db(A) above the background noise, whichever is greater, as measured from the nearest neighbouring inhabited dwelling.</li> </ol>

**Class 5 of Part 1 of Schedule 2: Exempted development - General**

Description of Development	Conditions and Limitations
<p><b>CLASS 5</b></p> <p>The construction, erection or alteration, within or bounding the curtilage of a house, of a gate, gateway, railing or wooden fence or a wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete.</p>	<ol style="list-style-type: none"> <li>1. The height of any such structure shall not exceed 2 metres or, in the case of a wall or fence within or bounding any garden or other space in front of a house, 1.2 metres.</li> <li>2. Every wall other than a dry or natural stone wall bounding any garden or other space shall be capped and the face of any wall of concrete or concrete block (other than blocks with decorative finish) which will be visible from any road, path or public area, including public open space, shall be rendered or plastered.</li> <li>3. No such structure shall be a metal palisade or other security fence.</li> </ol>

## Assessment:

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said works constitute development, as defined in Section 3 of the said Act.

The proposed development of an extension to the rear of a dwelling house which, it is stated as having a combined floor space of 27.4m<sup>2</sup>.

With regard to the compliance with the conditions and limitations of Class 1 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. a. Proposed work is stated as 27.4m<sup>2</sup>.  
b. Proposed extension is on ground floor only, therefore N/A.  
c. Proposed work is only on ground floor level.
2. No previous extensions, therefore N/A.
3. Proposed work is only on ground floor level.
4. a. Rear wall does not exceed this height.  
b. Rear wall does not include a gable, therefore N/A.  
c. Proposed flat roof extension does not exceed the height of the eaves of the existing dwelling.
5. Extension does not reduce the open space to less than 25m<sup>2</sup>
6. a. Windows are greater than 1m from the boundary it faces.  
b. Proposed work is only on ground floor level.  
c. Proposed work is only on ground floor level.
7. No access is indicated.

Having reviewed the existing works in the context of the Conditions and Limitations associated with Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the extension to rear of a dwelling house as described in this case is considered an exempted development.

The proposed development to install a heat pump which, with regard to the compliance with the conditions and limitations of Class 2 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. Proposed heat pump not ground heat pump system, therefore N/A.
2. Based on the information provided the proposed heat pump is less than 2.5m<sup>2</sup>.
3. Onus on applicant to comply with this.
4. Indicated on drawing to be located to the side of the rear extension of the property.
5. Onus on applicant to comply with this.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 2 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the install of a heat pump as described in this case is considered an exempted development.



The proposed development to construct a 1.8m high new concrete post and timber panel fence and party boundary wall to the rear of the existing dwelling, with regard to the compliance with the conditions and limitations of Class 5 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. Following discussion with builder on site and based on information provided in DED 850 which is been completed by the same builder at the same time as this application the fence is to be 1.8m high and to the rear of the property.
2. N/A as proposed concrete post and timber panel fence.
3. N/A as proposed concrete post and timber panel fence.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 5 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the construction of a 1.8m high new concrete post and timber panel fence and party boundary wall to the rear of the existing dwelling as described in this case is considered an exempted development.

The proposal includes the renovation and material alterations to a semi-detached dwelling in Abbeytown, Boyle. These works include the replacement of the existing roof and demolition of chimney stacks. While the roof has been replaced with a fibre cement slate roof the chimneys have not been rebuilt, but the drawings submitted indicate that replica chimneys are to be built and after a discussion with the builder on site these works are to be completed in the coming weeks. These works have considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The proposed works are deemed an exempt development, provided the replica chimneys are built as per the documents submitted.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

### Recommendation

**WHEREAS** a question has arisen as to for the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works in Abbeytown, Boyle, Co. Roscommon, is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 1, 2 and 5 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

### AND WHEREAS I have concluded that

- The works outlined above are development.
- The proposed extension to rear of a dwelling house as described in this case is an exempted development.
- The proposed heat pump to the rear of the dwelling house as described in this case is an exempted development.
- The proposed boundary fence to rear of a dwelling house as described in this case is an exempted development.
- The completed renovation and material alterations to a dwelling house as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:

*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

And is considered as described in this case is an exempted development, provided the replica chimneys are built as per the documents submitted.

- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

**AND WHEREAS** I have concluded that the said development for the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works in Abbeytown, Boyle, Co. Roscommon is an exempted development provided the replica chimneys are built as per the documents submitted. I recommend that a declaration to that effect should be issued to the applicant.

**Signed:**



Assistant Engineer

**Date:** 29<sup>th</sup> July 2025



**Signed:**

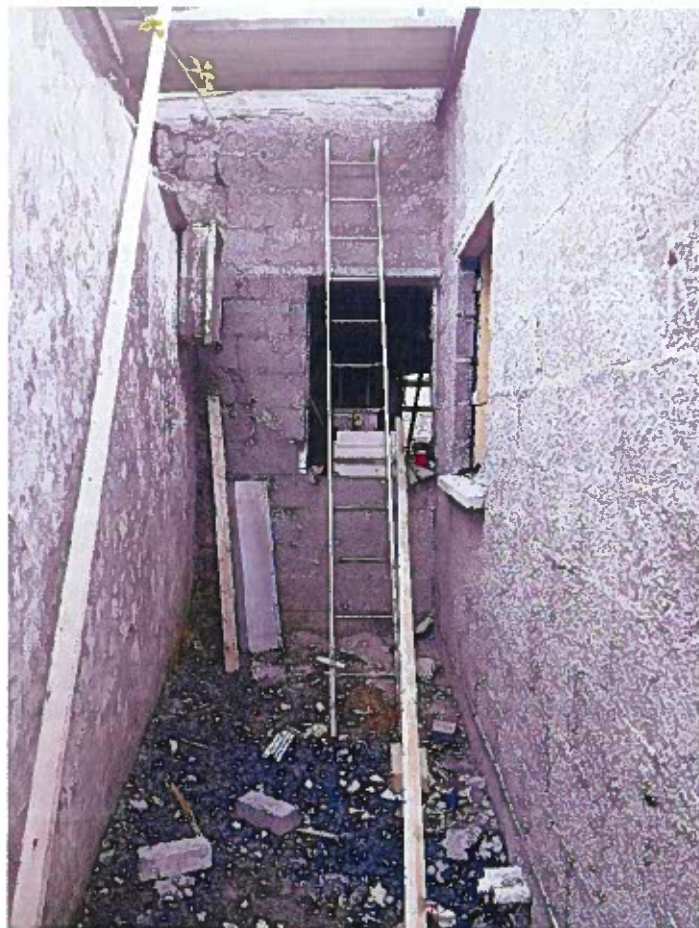


Senior Executive Planner

**Date:** 29<sup>th</sup> July 2025













Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



Shane Malone,

Date: 10<sup>th</sup> July, 2025  
Planning Reference: DED 919

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission of the renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works under the Planning & Development Act (Exempted Development) regulations 2018 at Abbeytown, Boyle, Co. Roscommon.

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A Chara,

I wish to acknowledge receipt of the application which was received on the 2<sup>nd</sup> July, 2025, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No: L/01/0/235608 dated 4<sup>th</sup> July, 2025 receipt enclosed herewith.

**Note:** Please note your Planning Reference No. is **DED 919**  
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Brian Farragher,  
Senior Executive Planner,  
Planning Department.

cc agent via email: **Andrew Leaver MSCSI MRICS Chartered Building Surveyor**  
[andrew.leaver@gmail.com](mailto:andrew.leaver@gmail.com)

Roscommon County Council  
Aras an Chontae  
Roscommon  
09066 37100

04/07/2025 14:13:10

Receipt No : L01/0/235608

ANDREW LEAVER  
FARRANAGALLIAGH EAST  
COOTEHALL  
BOYLE  
CO ROSCOMMON  
PL REF: DED 919

PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED919	

Total : 80.00 EUR

Tendered : 80.00  
Credit/Debit Card  
4481

Change : 0.00





Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



Áras an Chontae,  
Roscommon,  
Co. Roscommon.

Phone: (090) 6637100

Email: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)

## **Roscommon County Council**

### **Application for a Declaration under Section 5 of the Planning & Development Act 2000, regarding Exempted Development**

Name:	Shane Malone
Telephone No : Email Address :	
Address:	
Name & Address of Agent:	Andrew Leaver MSCSI MRICS Chartered Building Surveyor Farranagalliagh East Cootehall Boyle, Co. Roscommon
Nature of Proposed Works	Renovation, material alterations and the construction of a single storey extension to the rear of an existing two storey dwelling house and ancillary site works.
Location (Townland & O.S No.)	Abbeytown, Boyle. ITM Centre X,Y = 580776,802833
Floor Area	27.4 m2 - proposed extension.
Height above ground level	3.2 m - proposed extension roof.
Total area of private open space remaining after completion of this development	77 m2 at rear of dwelling house.
Roofing Material (Slates, Tiles, other) (Specify)	Fibre cement slates to existing pitched roof. PVC membrane to new extension flat roof.
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	Nap render, white.
Is proposed works located at front/rear/side of existing house.	Rear.



## Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,  
regarding Exempted Development

Has an application been made previously for this site	No.
If yes give ref. number (include full details of existing extension, if any)	N/A
Existing use of land or structure	Dwelling house.
Proposed use of land or structure	Dwelling house.
Distance of proposed building line from edge of roadway	Existing building line is 3.2m from edge of roadway. Proposed extension is located to the rear of the existing building.
Does the proposed development involve the provision of a piped water supply	Existing connection to public mains.
Does the proposed development involve the provision of sanitary facilities	Yes. Existing sewer connection to public mains.

Signature:

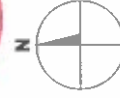
Date:

28/06/2025

**Note:** This application must be accompanied by:-

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed

SITE BOUNDARY:  
OWNERSHIP BOUND  
SITE AREA 0.020 HA (0.049 ACRES)



28/06/25	AL	CONTRACT
OUTLINE	PLANNING	THOR
Abbeytown, Boyle Co. Roscommon		
Site Layout Plan		
2024 / 54	100	1 200
Andrew Leaver MSCSI MRICS		

NEW CONCRETE POST AND TREATED  
TIMBER PANEL FENCE TO REAR BOUNDARY

PAVED PRIVATE OPEN SPACE TO REAR  
OF DWELLING - 77 m<sup>2</sup>

NEW CONCRETE BLOCKWORK PARTY  
BOUNDARY WALL WITH RENDER FINISH

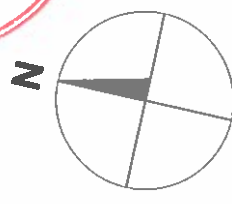
PROPOSED SINGLE STOREY EXTENSION  
TO REAR OF DWELLING

EXISTING DWELLING HOUSE TO BE RENOVATED

REAR GARDEN OVER GABLE

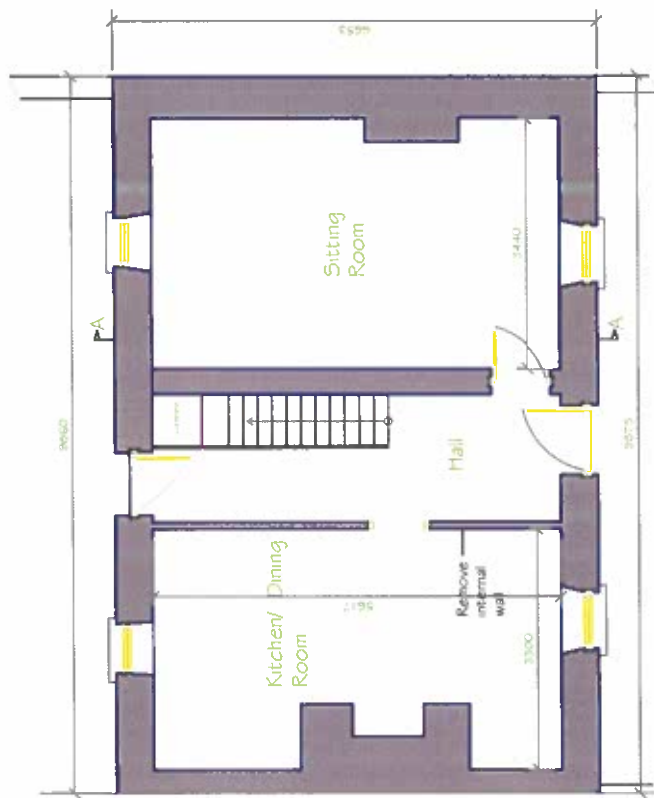
FRONT GARDEN PLANTING SCHEME TBC

ABBETOWN RD

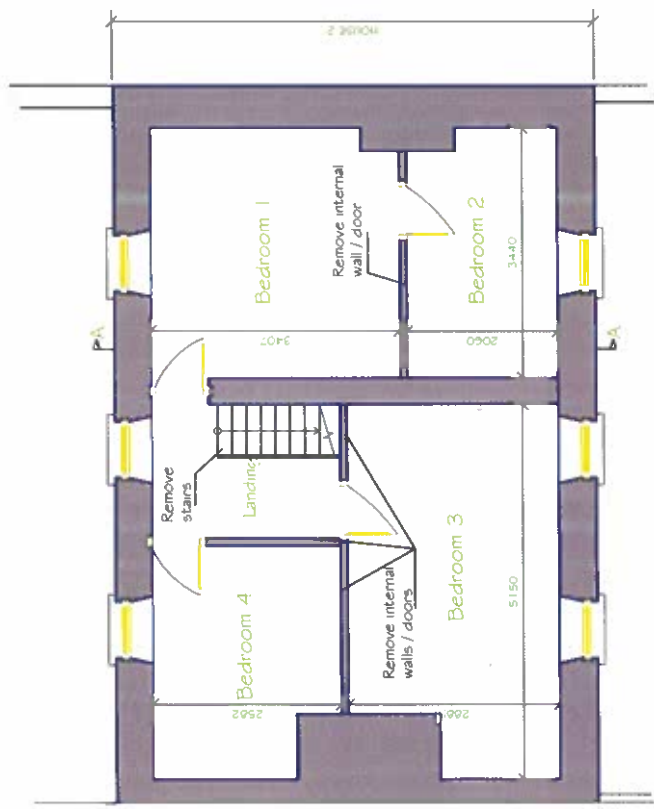


- Remove all windows, external doors/frames, internal doors/frames/architrave
- Remove first floor joists /finish
- Remove first floor ceiling /finish
- Remove all fireplaces & block up openings

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- Remove first floor joists /finish
- Remove first floor ceiling /finish
- Remove all fireplaces & block up openings



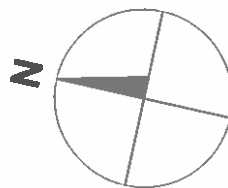
EXISTING GROUND FLOOR PLAN



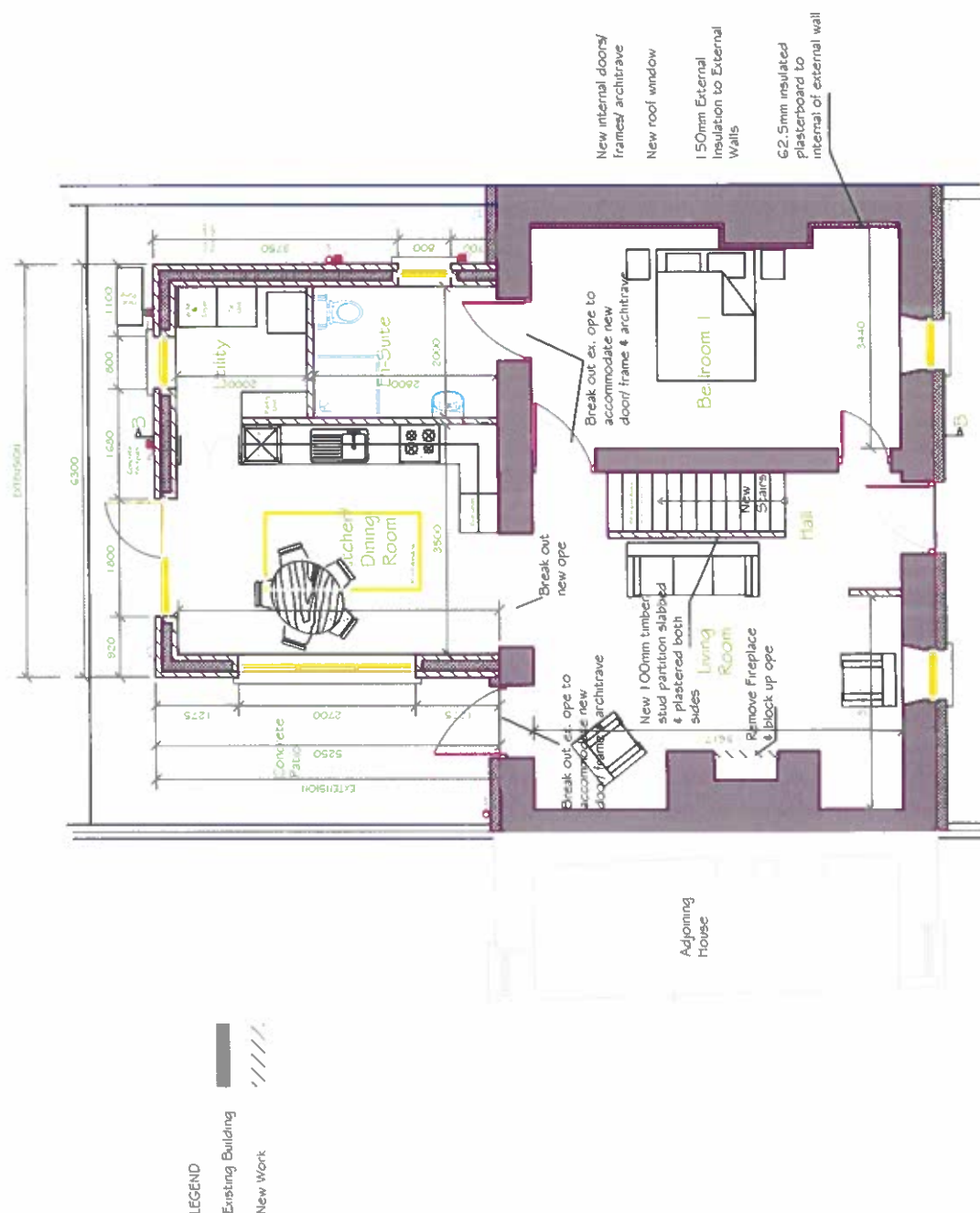
EXISTING FIRST FLOOR PLAN

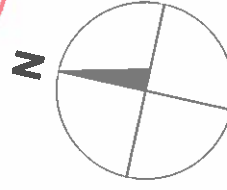
REV	DATE	10/11/24	DRAWN	AM	CHECK	SM
OUTLINE	<input type="checkbox"/>	PLANNING	<input type="checkbox"/>	TENDER	<input type="checkbox"/>	CONTRACT
PROJECT		Abbeytown, Boyle, Co. Roscommon, F52 RW72				
TITLE		Existing Floor Plans				
PROJECT NO		DRAWING NO		REV		
2024 / SM		101		1:100		
CONSULTANT		Andrew Leaver MSCSI MRICS				
Farinagallagh East		Boyle Co. Roscommon TEL +353 (0)87 230 5897				





REV	DATE	10/11/24	DRAWN	AM	CHECK	SM
OUTLINE	<input type="checkbox"/>	PLANNING	<input type="checkbox"/>	TENDER	<input type="checkbox"/>	CONTRACT
PROJECT	PROJECT NO. <input type="checkbox"/> INSTRUCTION NO. <input checked="" type="checkbox"/>					
TITLE Proposed Ground Floor Plan						
PROJECT NO.	DRAWING NO.		INSTRUCTION DATE			
2024 / SM	103		SCALE			
CONSULTANT			REV			
Andrew Leaver MSCSI MRICS Carranagallagh East Cootehall Boyle Co Roscommon TEL +353 (0)87 230 5897			1:100			

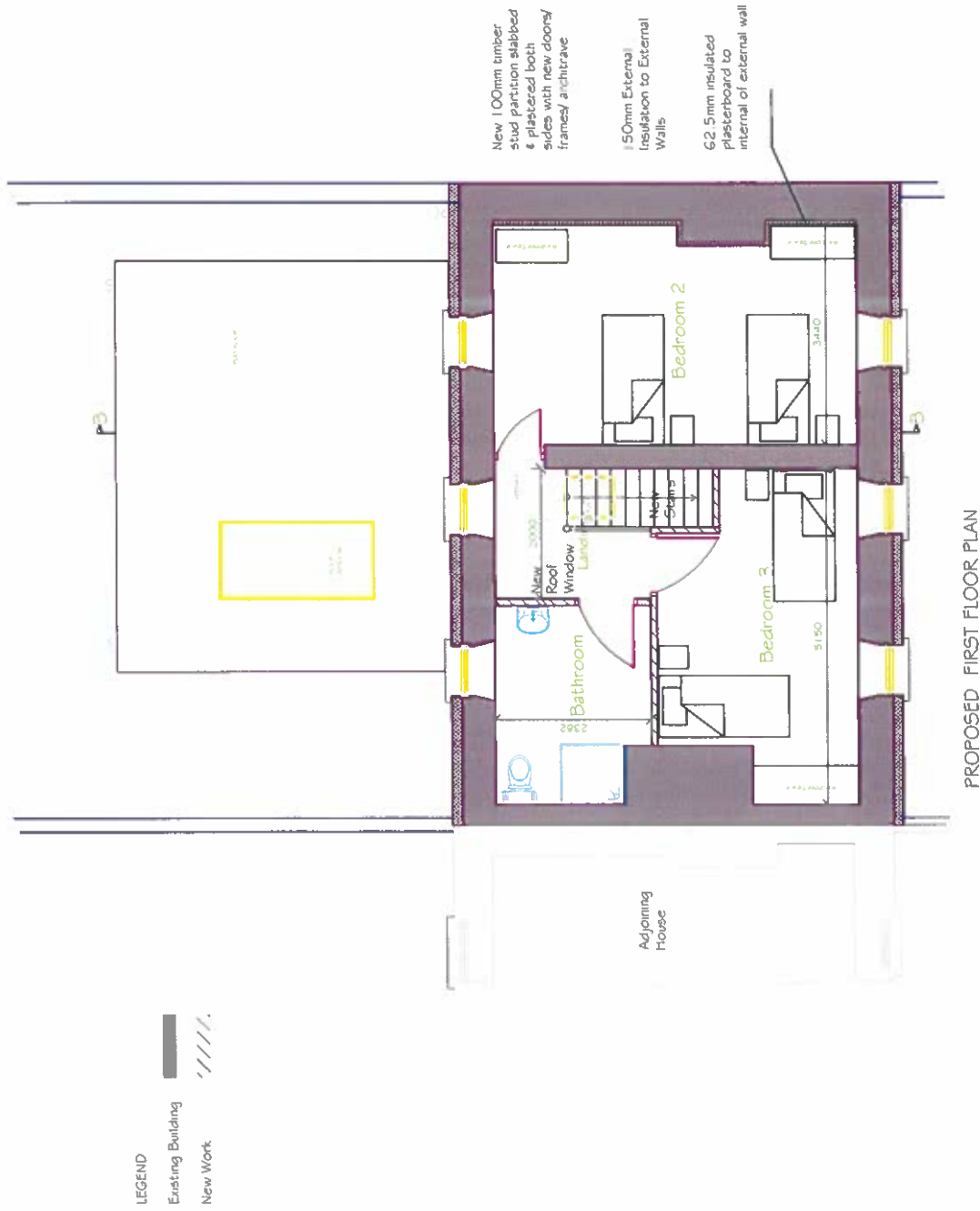




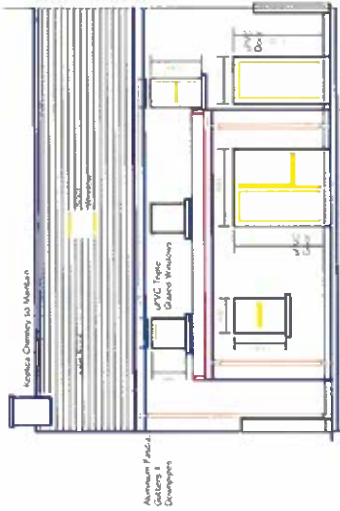
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PROJECT	Abbeytown, Boyle, Co. Roscommon, F52 RW2				
TITLE	Proposed First Floor Plan				
PROJECT NO	2024 / SM	DRAWING NO	104	SCALE	1:100
CONSULTANT	REV				

**Andrew Leaver MSCSI MRICS**

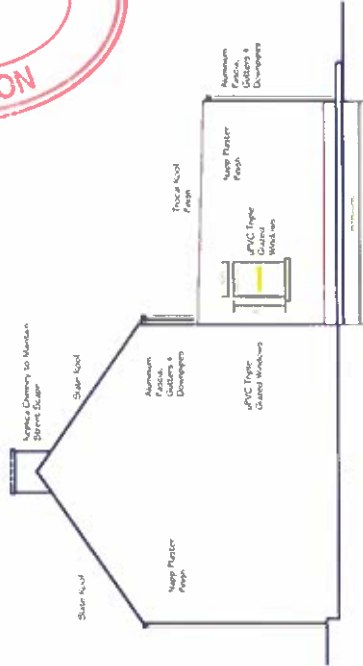
Farranagallagh East Cootehall Boyle Co. Roscommon TEL +353 (0)87 230 5897



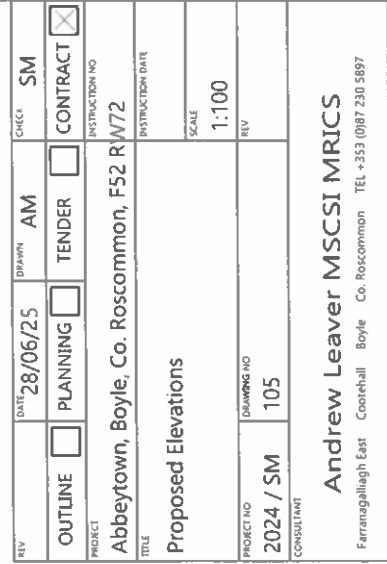




PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION





**EXTENSION**  
Excavate, reduce levels and construct an extension to the rear of the house. Floor level of the extension to match that in the existing house.  
Foundations: 1050x350mm RC strip foundations to external walls, 35N Conc. A393 mesh reinforcement to all foundations. 75mm of bottom of trench. Min. 1000mm below F.G.L.

Floor: Air tightness membrane/ tape between floor screed and masonry wall. 75mm sand cement screed steel towelled. 150mm Kingspan Kooltherm K103 insulation U-value 0.12W/mK or similar approved on 'Monetflex' reflex super Radon barrier (or similar approved) laid to manufacturers specifications, with Easi sump. 110mm dia. pvc radon collection pipework to new footpath. on 50mm sand blinding, on 150mm concrete on 50mm sand blinding on Clean consolidated hardcore max. stone size 100mm laid in 150mm layers by 10 tonne roller well compacted. gas permeable. Any hardcore supplied to be free from defect and impurities at both a physical level and micro cellular level and certified so (ie. free from pyrite defect or similar impurity).

Walls: 350mm cavity wall construction, 100mm solid conc. block outer leaf with finish to match existing. 150mm full fill bonded bead insulation NSAI Certified, installed as per manufacturers instructions by a registered contractor, 100mm solid conc. block inner leaf with internal finish to match existing. Provide and fit stainless steel wall starter kit bolted to external rear wall of main house to connect with new blockwork.

Roof: 100mm solid concrete block internal walls with finish to match existing. Trocal Roof Membrane with metal flashing on edge on Vapour Barrier on 150mm Insulation of Kooltherm K3 board insulation (or similar approved) on vapour barrier on 18mm OSB deck on 215 x 50mm joists at 400mm centres, on plasterboard on plaster skim coat finish.

25mm manne plywood fascia with 50 x 25mm timber batten fixed to top of same dressing trocal roof membrane over same and into gutter. Rainwater Gutters & Downpipes:

Supply and fit 200 x 150mm treated timber fascia and soffit covered with black aluminum fascia and soffit. Provide for ventilation to the attic in the soffit to meet the current Building Regulations.

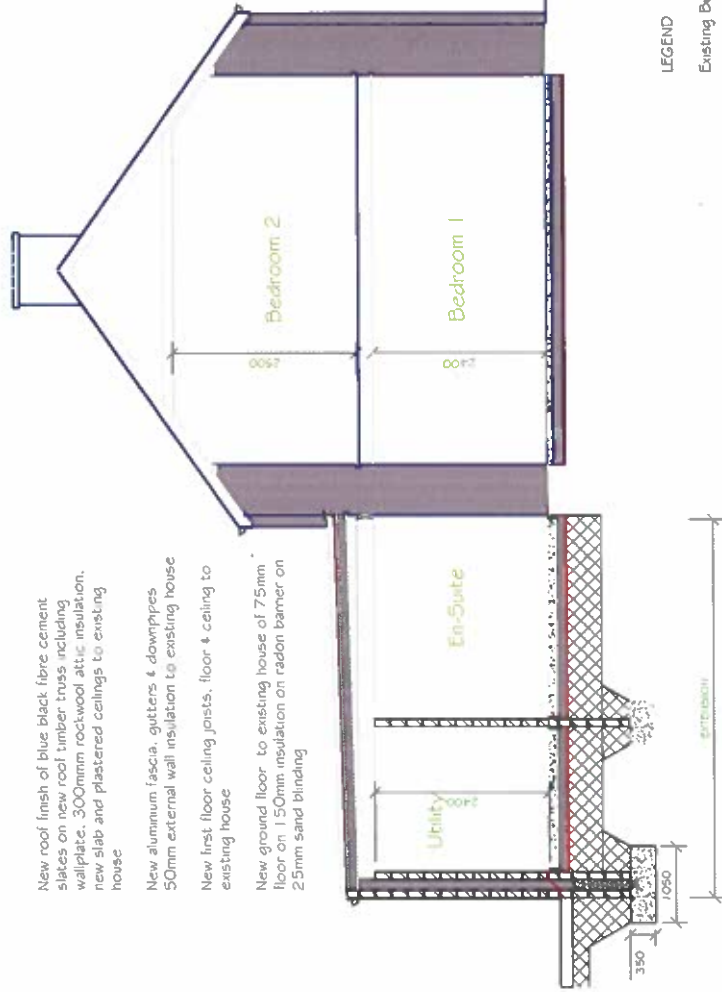
Supply and fit 112mm aluminum seamless rain water gutters fitted with patent brackets screwed to fascia @ 750mm intervals. Provide all necessary fittings.

Supply and fit 75mm black upvc downpipe, awan necks and tees to discharge within 50mm of gully.

Lintels / Gills: Stepped DPC and pre-stressed concrete lintels to all openings with precast concrete cills wrapped in DPC with 25mm extruded polystyrene insulation behind.

Ceiling Finish: Supply and fit 12.5mm plasterboard to ceilings with skim coat finish 43m<sup>2</sup> in area approx. to the extension. Make good the ceiling to the new Utility area to match existing.

Plaster Finish: External plaster finish to match existing finish on main house including plaster detail to door and window openings. Provide sand / cement plaster internally for air tightness.



LEGEND  
Existing Building  
New Work

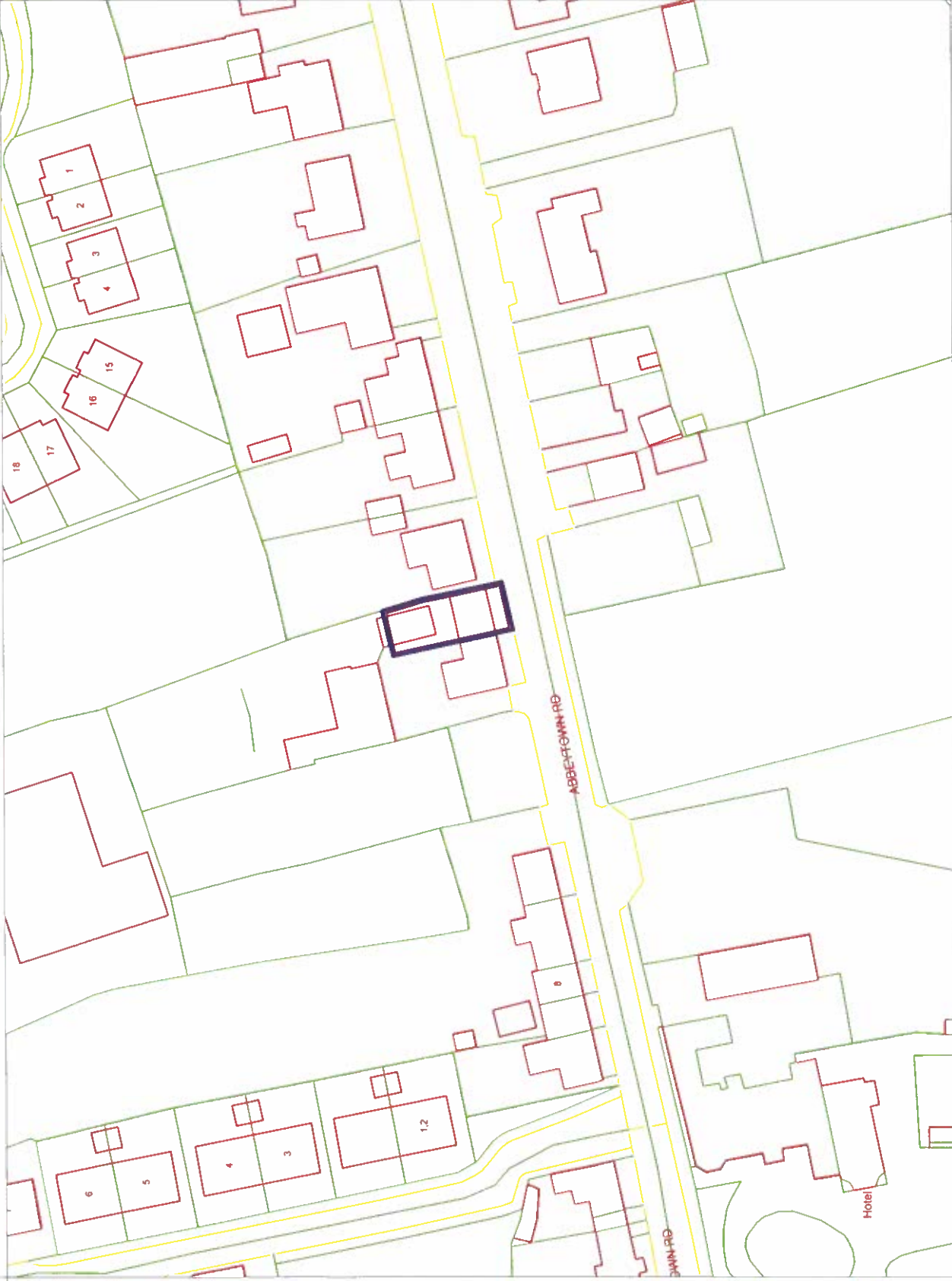
**Electrics:**  
Re-wire complete house and wire extension including for smoke / heat alarms, electric shower etc. Electrical works to be complete by a Safe Electric approved Contractor.  
**Materials:** All materials used throughout the work to be best of its respective kind and to comply with ESB requirements (IEE Regulations). Switched socket outlets to have switches on either side of plug connection.

**Plumbing & Heating:**  
Include for plumbing of all sanitary ware to Bathrooms, Kitchen sink, washing machine etc. to include water services and waste pipes, fit isolator valves to toilet cistern and to pipework to all taps.  
All mains water services and cold feeds shall be insulated, at high level in ceiling voids, dropping in vertical ducts, in floor, below or trenches, within partitions etc. Only exposed pipework in basins and showers within the bathrooms need not be insulated. Insulation shall comply with current Technical Guidance Document including R values. All insulation joints both butt joints and lap joints shall be sealed with approved adhesive. Allow for pressure testing all water services pipework in whole.  
Include for new air to water heat pump / appropriately sized radiators to all rooms. All new pipework in the floor is to be insulated.



REV	DATE	28/06/25	DRAWN	AM	CHECKED	SM
OUTLINE	<input type="checkbox"/>	PLANNING	<input type="checkbox"/>	TENDER	<input checked="" type="checkbox"/>	CONTRACT
PROJECT	Abbeytown, Boyle, Co. Roscommon, F52 RW72					
TITLE	Proposed Section B-B					
PROJECT NO	DRAWING NO			SCALE	REV	
2024 / SM	106			1:100		
CONSULTANT						
Andrew Leaver MSCSI MRICS						
Farranagallagh East Cootehall Boyle Co. Roscommon TEL +353 (0)87 230 5897						

580892 mE, 802919 mN



Site Location Map

Property: Abbeystown,  
Boyle, Co. Roscommon, F52RW72

Ownership Boundary:

Site Boundary:

Site Area: 0.020 Ha (0.049 Ac)

Map Prepared By:

Andrew Leaver MSCSI MRICS  
Chartered Building Surveyor  
Farranagallagh East, Cooteshall,  
Boyle, Co. Roscommon,  
F52 CH94



Created

Date: 19 February 2025 08:15:38

OS Sheet Number: 50449720

1:1,000 Scale

ITM Centre X,Y = 580776,802833

580659 mE, 802747 mN



28<sup>th</sup> June 2025

**APPLICATION FOR A SECTION 5 DECLARATION**

**SCHEDULE OF DOCUMENTS – RENOVATION, EXTENSION AND MATERIAL ALTERATIONS TO A DWELLING HOUSE AT ABBEYTOWN, BOYLE, CO. ROSCOMMON, F52RW72**

Documents	Reference	Description / Remarks
Site Location Map	50449720	Location of proposed development
Site Layout Plan	100	General layout of site
Existing Floor Plans	101	Existing layout of ground and first floors.
Existing Elevations and Section	102	External elevations and section through existing structure.
Proposed Ground Floor Plan	103	General arrangement of proposed ground floor.
Proposed First Floor Plan	104	General arrangement of proposed first floor.
Proposed Elevations & Section B-B	105	External elevation drawings of the proposed development.
Proposed Section B-B	106	Section through proposed structure.
Specification of Development		Description of proposed works



## SPECIFICATION OF DEVELOPMENT

### PROPOSED SINGLE STOREY EXTENSION



#### 1. FOUNDATIONS:

- 1050 X 350MM RC STRIP FOUNDATIONS TO EXTERNAL WALLS.
- 35N CONCRETE WITH A393 MESH REINFORCEMENT.
- MINIMUM 1000MM BELOW FINISHED GROUND LEVEL.

#### 2. FLOOR:

- 75MM SAND CEMENT SCREED, STEEL TOWELLED.
- 150MM KINGSPAN KOOLTHERM K103 INSULATION (U-VALUE 0.12W/M²K).
- 'MONERFLEX' REFLEX SUPER RADON BARRIER WITH EASI SUMP.
- 110MM DIA. PVC RADON COLLECTION PIPEWORK.
- 50MM SAND BLINDING.
- 150MM CONCRETE.
- 50MM SAND BLINDING.
- CLEAN CONSOLIDATED HARDCORE (MAX STONE SIZE 100MM, LAID IN 150MM LAYERS).

#### 3. WALLS:

- 350MM CAVITY WALL CONSTRUCTION.
- 100MM SOLID CONCRETE BLOCK OUTER LEAF.
- 150MM FULL FILL BONDED BEAD INSULATION (NSAI CERTIFIED).
- 100MM SOLID CONCRETE BLOCK INNER LEAF.
- STAINLESS STEEL WALL STARTER KIT TO CONNECT WITH EXISTING HOUSE.

#### 4. ROOF:

- TROCAL ROOF MEMBRANE WITH METAL FLASHING.
- VAPOUR BARRIER.
- 150MM KOOLTHERM K3 BOARD INSULATION.
- 18MM OSB DECK.
- 215 X 50MM JOISTS AT 400MM CENTERS.
- PLASTERBOARD WITH PLASTER SKIM COAT FINISH.

#### 5. RAINWATER GUTTERS & DOWNPIPES:

- 200 X 19MM TREATED TIMBER FASCIA AND SOFFIT.
- BLACK ALUMINIUM FASCIA AND SOFFIT.
- 112MM ALUMINIUM SEAMLESS RAINWATER GUTTERS.
- 75MM BLACK UPVC DOWNPIPE.

#### 6. LINTELS / CILLS:

- STEPPED DPC AND PRE-STRESSED CONCRETE LINTELS.
- PRECAST CONCRETE CILLS WRAPPED IN DPC.
- 25MM EXTRUDED POLYSTYRENE INSULATION BEHIND CILLS.

#### 7. CEILING FINISH:

- 12.5MM PLASTERBOARD WITH SKIM COAT FINISH.



8. PLASTER FINISH:

- EXTERNAL PLASTER TO MATCH EXISTING.
- INTERNAL SAND/CEMENT PLASTER FINISH FOR AIR TIGHTNESS.

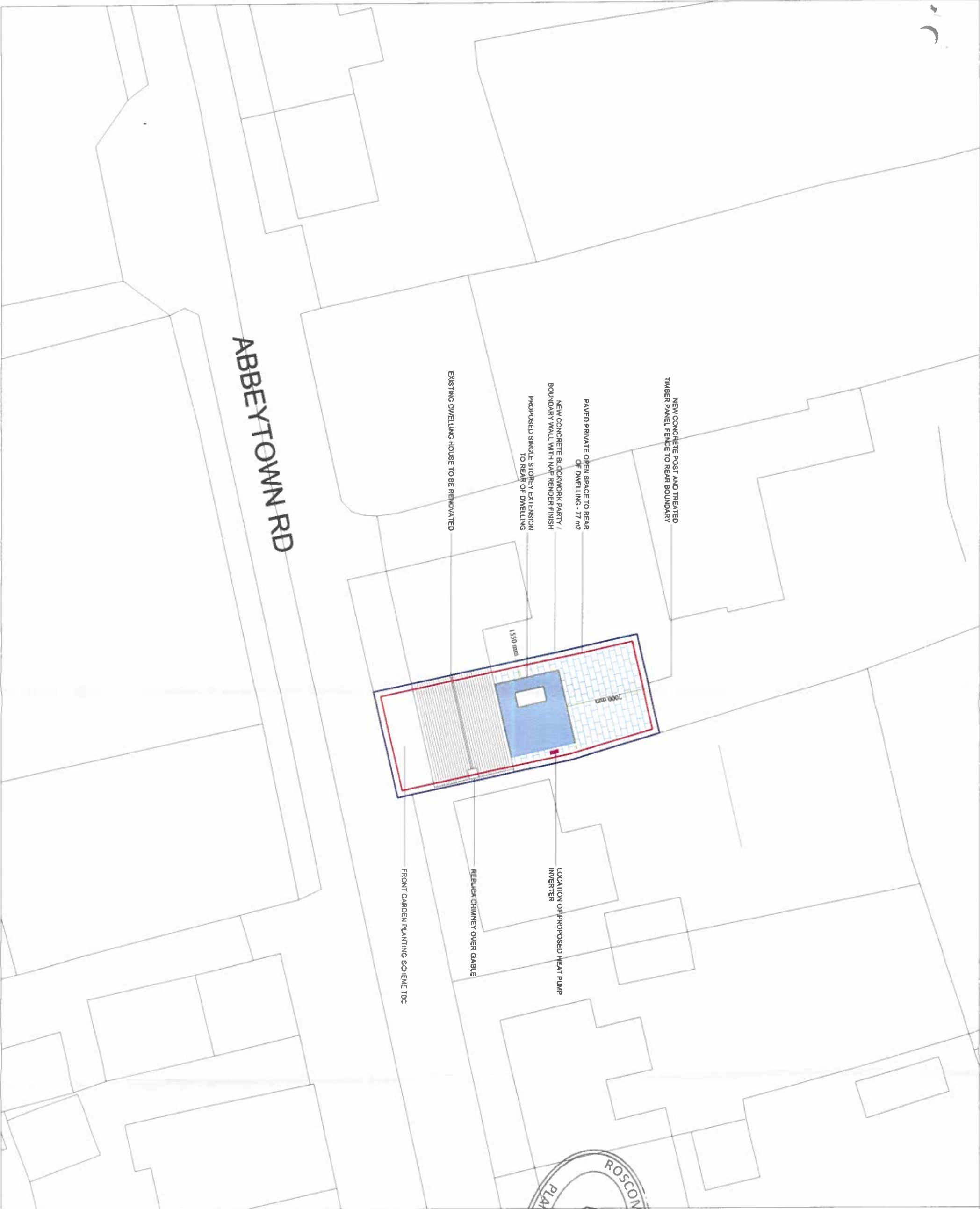
9. ELECTRICS:

- COMPLETE REWIRING INCLUDING SMOKE/HEAT ALARMS.
- WORK TO BE COMPLETED BY SAFE ELECTRIC APPROVED CONTRACTOR.

10. PLUMBING & HEATING:

- NEW AIR TO WATER HEAT PUMP.
- APPROPRIATELY SIZED RADIATORS IN ALL ROOMS.
- INSULATED PIPEWORK IN FLOORS.

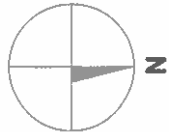




SITE BOUNDARY: —  
OWNERSHIP BOUNDARY: —  
SITE AREA: 0.020 HA (0.049 ACRES)



REV A - location of heat pump inverter added 02.07.25



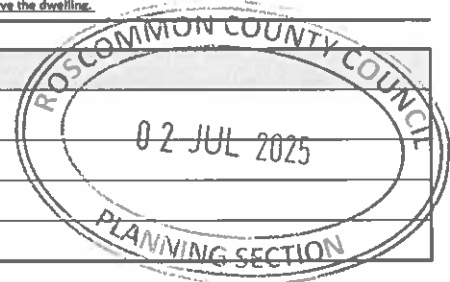
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CLIENT	<input type="checkbox"/> PLANNING <input checked="" type="checkbox"/> TENDER <input type="checkbox"/> CONTRACT <input type="checkbox"/>		
PROJECT	Abbeytown, Boyle Co. Roscommon		
FILE	Site Layout Plan		
PROJECT NO.	2024 / 514	SCALE	1:200
DATE	2024 / 514	SCALE	1:200
Andrew Leaver MSCSI MRICS			
Planning & Design Services Boyle Co. Roscommon (C) 2024			

# DEAP Heat Pump - Designer/ Installer Sign Off Form (Version 5.3.1)



Information must represent the dwelling as constructed for new final and existing BERs and the dwelling design plans for new-provisional BERs.  
Updated Q3 2020 to facilitate new heat pump types (DX, GAHP, Low temperature etc as well as group and multiple heat pump scenarios)  
**Always complete "Heat pump #1" column below. Please complete Heat Pump #2 and Heat Pump #3 as required where multiple heat pumps serve the dwelling.**

1. General information	
Address of installation:	
MPRN Number:	
Eircode:	
BER Number:	



2. Purpose of installation		Heat pump #1	Heat pump #2	Heat pump #3
Does the installation provide space heating?	Tick applicable boxes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the installation provide water heating?	Tick applicable boxes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If heat pump(s) provide space and water heating, are they 2 separate heat pumps?	Tick applicable boxes	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Heat pump selection		Heat pump #1	Heat pump #2	Heat pump #3
Manufacturer(s) of the installed heat pump(s)	Ensure this is exact product manufacturer name.	Mitsubishi Electric		
Model(s) of the installed heat pump(s)	Use exact product model, including model name, number, qualifier where present.	SUZ-SWM80VA2		
Type(s) of Heat Pump (if separate heat pumps for space and water heating, tick all that apply)	Air to Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Brine to Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Water to Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Exhaust Air to Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Air to Air	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Brine to Air	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Water to Air	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Direct Exchange (DX)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Exhaust Air to Air	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Space heating provided by low temperature heat pump?	Tick all that apply	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is this a gas fired heat pump (GAHP)?	Tick all that apply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Date of Installation	Insert date system was installed (format DD/MM/YYYY)			
Is the Heat Pump(s) compliant with Ecodesign Directive	Tick where the answer is "yes"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is the Heat Pump(s) compliant with Labelling Directive	Tick where the answer is "yes"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Space Heating Test Standard	For each space heating heat pump, select Standard I.S. EN 14825 or I.S. EN 12309-6 or I.S. EN 13141 or I.S. EN 14511	I.S. EN 14825		
Water Heating Test Standard	For each water heating heat pump, select Standard I.S. EN 16147 or I.S. EN 13203-6 or I.S. EN 14511 or I.S. EN 255-3 or I.S. EN 14825/14511	I.S. EN 16147		
Is the heat pump listed on HARP	Select Yes or No	No		
No of Hours per Day Heat Pump has been designed to run	Select 8, 16 or 24 which best represents the design	24		
% main space heat provided by each heat pump based on system design	Source percentage of heat from plant design details or operational records	100%		
Temperature (°C) of the water leaving the heat pump for Space Heating	Source temperature of heat from plant design details or operational records	55		
Is there a back up space heater present to supplement the Heat Pump?	See DEAP Manual Appendix G for definitions of backups to heat pumps	No		
Outline type of backup space heater and associated fuel	Enter backup heater type and fuel if present			
% main water heat provided by each heat pump based on system design	Source percentage of heat from plant design details or operational records	100%		
Temperature (°C) of the water leaving the heat pump for Hot Water Heating	Source temperature of heat from plant design details or operational records	60		
Is there a back up water heater present to supplement the Heat Pump?	See DEAP Manual Appendix G for definitions of backups to heat pumps	Yes		
Outline type of backup space heater and associated fuel	Enter backup heater type and fuel if present	Electric		

Is heat pump source preconditioned?	Select "Yes" if heat pump source is preheated by another heat source other than exhaust air or ambient energy (e.g. a heat pump or boiler etc)	No		
Is the Heat Pump part of a Group Heating Scheme	Select "yes" if this heat pump also heats other dwellings	No		

4. Heat Emitter Design		
Is there one or more radiators present	Yes	Select Yes or No
Is there one or more fan coil units present	No	Select Yes or No
Is there underfloor heating present	Yes	Select Yes or No
Is there warm air supply from the heat pump	No	Select Yes or No
Has a load / weather compensation been installed?	Yes	Select Yes or No
Provide details of zone, temperature and time control installed?	heating zone hot water zone	Input number of heating zones, thermostats, etc
Temperature (°C) of the water leaving the heat pump system when supplying space heating based on full heating system design conditions and at the design external temperature? (Note this can not be greater than Max. temperature for individual heat pumps)	55	Input temperature in degrees celcius

5. Hot Water System		Heat pump #1	Heat pump #2	Heat pump #3
Maximum flow temperature (°C) of the heat pump system while providing hot water (by heat pump only) based on certified data	For up to three heat pumps: Input temperature in degrees celcius, please provide supporting documentation.	60		
Type of DHW Store	For up to three heat pumps: Input the type of store present, no store, integral store or separate store	Integral Hot Water Storage		
Manufacturer(s) of the installed DHW Store (s)	Ensure this is exact product manufacturer name.	Mitsubishi Electric		
Model(s) of the installed DHW Store(s)	Use exact product model, including model name, number, qualifier where present.	EHST17D-VM2DR1		
Is there an integral immersion or electric element present capable of providing hot water	For up to three heat pumps: Select Yes or No	Yes		

6. Confirmation -		
Note: If the heat pump installation is being grant aided, this section needs to be completed by the SEAI registered contractor who installed the heat pump system		
I confirm that I am authorised to complete this certificate on behalf of the client and I confirm that: (i) For New Final and Existing BERs, the heating installation at the premises whose address is shown above has been designed and installed in accordance with the information provided; (ii) For Provisional BERs, the heating design at the premises whose address is shown above is in accordance with the information provided. (iii) the design included a heat loss calculation for every room of the building that is heated by the installation; (iv) For New Final or Existing BERs, the installation conforms to the design; (v) controls have been installed and set correctly.		Select Yes or No
Full name:		Enter name of person completing signoff form.
Company name:		Enter company name of person completing signoff form.
Email Address:		Enter email of person completing signoff form.
Job title:		Enter job title of person completing signoff form.
Signature:		Designer/installer signature
Date:		DD/MM/YYYY





# SECTION 1: Basic Properties

Item Type	Heat Source
Item Name	Heat Pump
Keywords	7.1kW Split Mitsubishi Ecodan with 170L Cylinder
Manufacturer	Mitsubishi Electric
Model	SUZ-SWM80VA

Heat Source Type	Heat Pump
Heat Pump Type	Air to Water
Space Heating Standard	I.S. EN 14825
Water Heating Standard	I.S. EN 16147
Season Space Heating Efficiency	η <sub>sp</sub> (%)
Water Heating Efficiency	η <sub>wh</sub> (%)
TOL	-20
WTOL	60

Temperature Control (Capacity Control) Variable Outlet Temperature



# SECTION 2: Heating System Test Data: I.S. EN 14825

Test Conditions - Low (35°C)

	A (88%)	B (54%)	C (35%)	D (15%)	e* (100%)
Source	A-7	A2	A7	A12	A-15
Sink	W34	W30	W27	W24	W35
Heating Capacity (kW)	6.30	3.80	2.70	2.60	4.80
Coefficient of Performance (kW/kW)	3.00	4.63	6.14	8.39	1.45

	A (88%)	B (54%)	C (35%)	D (15%)	e* (100%)
Source	A-7	A2	A7	A12	A-15
Sink	W52	W42	W36	W30	W55
Heating Capacity (kW)	6.30	3.80	2.50	2.60	4.80
Coefficient of Performance (kW/kW)	2.06	3.39	4.24	6.34	1.45

# SECTION 3: Heating System Test Data: I.S. EN 16147

Source of Data	Water Heating Energy Efficiency
Water Heating Energy Efficiency η <sub>wh</sub> (%)	144
Capacity of Heat Pump (kW)	7.10
Standby Heat Loss (kWh/day)	1.65

Coefficient of Performance (kW)	55.5
Reference Hot Water Temperature	L
Declared Load Profile	L
Volume of Water Accounted for in Test	170

