

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Cathal Dunning,



Reference Number: DED 915
Application Received: 23rd June, 2025
Name of Applicant: Cathal Dunning
Agent: Mark Gallagher

WHEREAS a question has arisen as to whether the construction of an agricultural development at Cloonown Td, Athlone, Co. Roscommon., is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended.
- (c) Class 6 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended.
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended.
- (e) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The works are development.
- (b) The proposed development individually and in combination with other plans or projects would likely to have an adverse impact on an area designated as a natural heritage area by order made under Section 18 of the Wildlife (Amendment) Act 2000 and therefore is not an exempted development.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to construct an agricultural development at Cloonown Td, Athlone, Co. Roscommon., is development that is **not exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:

Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 12th August, 2025

cc agent via email: Mark Gallagher
gallagher.mark83@gmail.com

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

Carmel Curley

From: Carmel Curley
Sent: Tuesday 12 August 2025 15:04
To: [REDACTED]
Cc: Mark Gallagher
Subject: DED 915 - Notification of Decision
Attachments: DED 915 - Notification of Decision.pdf

Hi Cathal,

Please find attached Notification of Decision for your Section 5 Declaration of Exempted Development DED 915. A hard copy will also be issued via registered post.

Regards,

Carmel

Carmel Curley, Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98
☎: (090) 6637100

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION



**Planner's Report on application under Section 5 of the
Planning and Development Acts 2000 (as amended)**

Reference Number: DED 915

Re: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development to construct an agricultural development under the Planning & Development Act (Exempt Development) Regulations 2018 at Cloonown, Athlone, Co. Roscommon.

Applicants: Cathal Dunning

Date: 11th August 2025

WHEREAS a question has arisen as to whether to construct an agricultural development in Cloonown, Athlone, Co. Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) Class 6 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended
- (e) The planning history of the site

Site Location & Development Description

The subject site is located in Cloonown, Athlone, Co. Roscommon and the land is in agricultural use. The site is accessed via a private laneway which leads off the L-2035. The laneway is approx. 160m in length and at the end is access to a dwelling house and around the back is the farmyard to which the proposed structure is located to the north west of the site behind the existing structures.

Archaeological and Cultural Heritage

No RMP recorded in the likely zone of influence of the proposed development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the proposed development.

Appropriate Assessment

The closest European sites to the site of the proposed development are Carrickynaghtan Bog NHA (Site Code 001623) which the proposed development is located partly within and River Shannon Callows PNHA (Site Code 000216) and Middle Shannon Callows SPA (Site Code 004096) which are located circa .85km to the south of the proposed site.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

Planning History

As per the Roscommon County Council's Planning Registry, recent planning history has been traced relating to the subject site.

- DED797 – Agricultural development – Not Exempt
- PP4725

Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2. -(1)

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3. -(1)

In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 as amended

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9 (1) applies;

Development to which article 6 relates shall not be exempted development for the purposes of the Act

(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.

Assessment:

In accordance with the Planning and Development Act, 2000, as amended Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said proposed to construct an agricultural development constitutes development, as defined in Section 3 of the said Act.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations, it is reasonable to conclude that on the basis of the information available, it is considered that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for EIA or AA does not apply with respect to the current referral case.

I am satisfied that an Environmental Impact Assessment Report or Natura Impact Statement are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. It is noted that proposed development has been proposed slightly further south than the previous (DED797), However, the current location proposed site is still partly within the NHA (see snippet below) and the restrictions on exemption Art 9 (1)(a) (viiC) exclude development which would have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000 and therefore not an exempted development.



Recommendation

WHEREAS a question has arisen as to whether the construction of an agricultural development in Cloonown, Athlone, Co. Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) Class 6 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended
- (e) The planning history of the site

AND WHEREAS I have concluded that

- a) The works are development.
- b) The proposed development individually and in combination with other plans or projects would likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000 and therefore is not an exempted development.

and I recommend that a declaration to that effect should be issued to the applicant.

Signed: 
Assistant Engineer

Date: 11th August 2025

Signed: 
Senior Executive Planner

Date: 11th August 2025









Comhairle Contae
Ros Comáin
Roscommon
County Council



Cathal Dunning,


Date: 1st July, 2025
Planning Reference: DED 915

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission for the proposed agricultural development with all ancillary site works and services under the Planning & Development Act (Exempted Development) regulations 2018 at Cloonown Td, Athlone, Co. Roscommon.

A Chara,

I wish to acknowledge receipt of the application which was received on the 23rd June, 2025, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No: L/01/0/235526 dated 27th June, 2025 receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 915**
This should be quoted in all correspondence and telephone queries.

Mise le meas,



Alan O'Connell,
Senior Executive Planner,
Planning Department.

cc agent via email: Mark Gallagher
gallagher.mark83@gmail.com

Roscommon County Council
Aras an Chontae
Roscommon
09086 37100

27/06/2025 10:21:37

Receipt No L010/235467

CATHAL DUNNING

PLANNING APPLICATION FEES 80.00
GOODS 80.00
VAT Exempt/Non-taxable
DED 915

Total 80.00 EUR

Tendered :
Credit/Debit Card 80.00
9175

Change : 0.00

Issued By : Aine McDermott
From : Central Cash Office



Comhairle Contae
Ros Comáin
Roscommon
County Council

Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development

Name of Applicant(s)	Cathal Dunning
Name of Agent	Mark Gallagher
Nature of Proposed Works	Proposed Agricultural Development with all ancillary site works and services.
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	Cloonown Townland, Athlone, Co. Roscommon
Floor Area: a) Existing Structure b) Proposed Structure	a) <u>None with this application</u> b) <u>182m2</u>
Height above ground level:	6.055m
Total area of private open space remaining after completion of this development	N/A
Roofing Material (Slates, Tiles, other) (Specify)	Green/Grey Roof Cladding



Roscommon County Council

Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	2.4m High Plastered RC Walls with wall cladding and ventilated sheeting above this.
Is proposed works located at front/rear/side of existing house.	Rear
Has an application been made previously for this site	No
If yes give ref. number (include full details of existing extension, if any)	N.A
Existing use of land or structure	Agriculture
Proposed use of land or structure	Agriculture
Distance of proposed building line from edge of roadway	170m to L2035
Does the proposed development involve the provision of a piped water supply	No (Existing well being used on site)
Does the proposed development involve the provision of sanitary facilities	N/A

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature:

Cathal Dunning

Date:

23rd June 2025



Note: This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed

Planning Officer,

Planning & Development Department,

Roscommon County Council,

Aras an Chontae,

Roscommon

19th June 2025

Re: Agricultural Development at Cloonown Townland, Athlone, Co. Roscommon.

To Whom it May Concern,

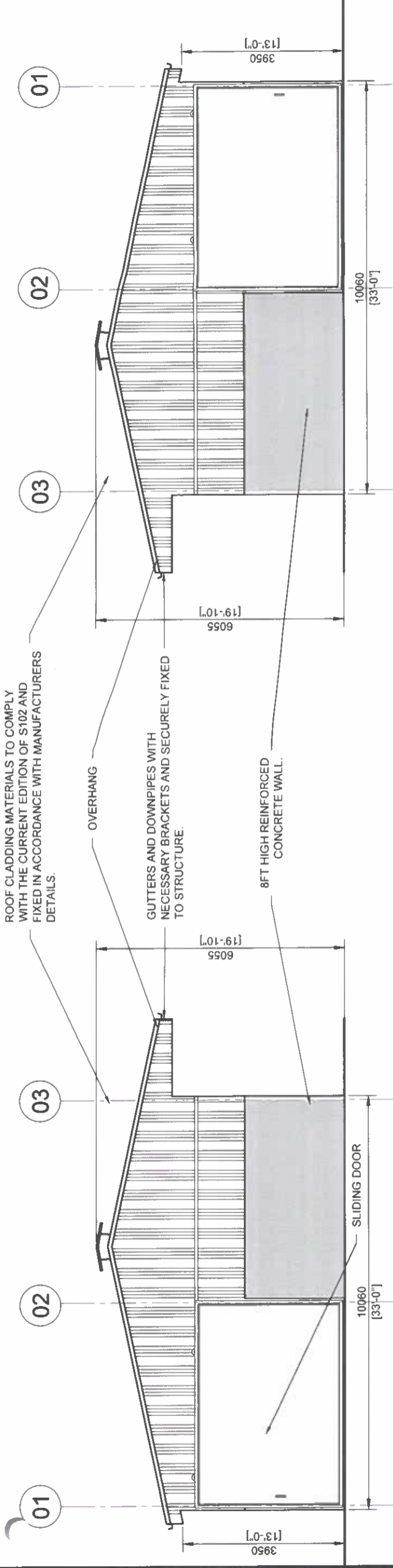
In respect of lands at the above I confirm that I am the registered owner of these lands, and I hereby give my permission and consent for [REDACTED], Mr. Cathal Dunning, New Row, Clonown, Athlone, Co. Roscommon for an agricultural development at Cloonown Townland, Athlone, Co. Roscommon.

I trust you find the above in order but should you need any further information please don't hesitate to contact the undersigned.

Yours Sincerely

[REDACTED]





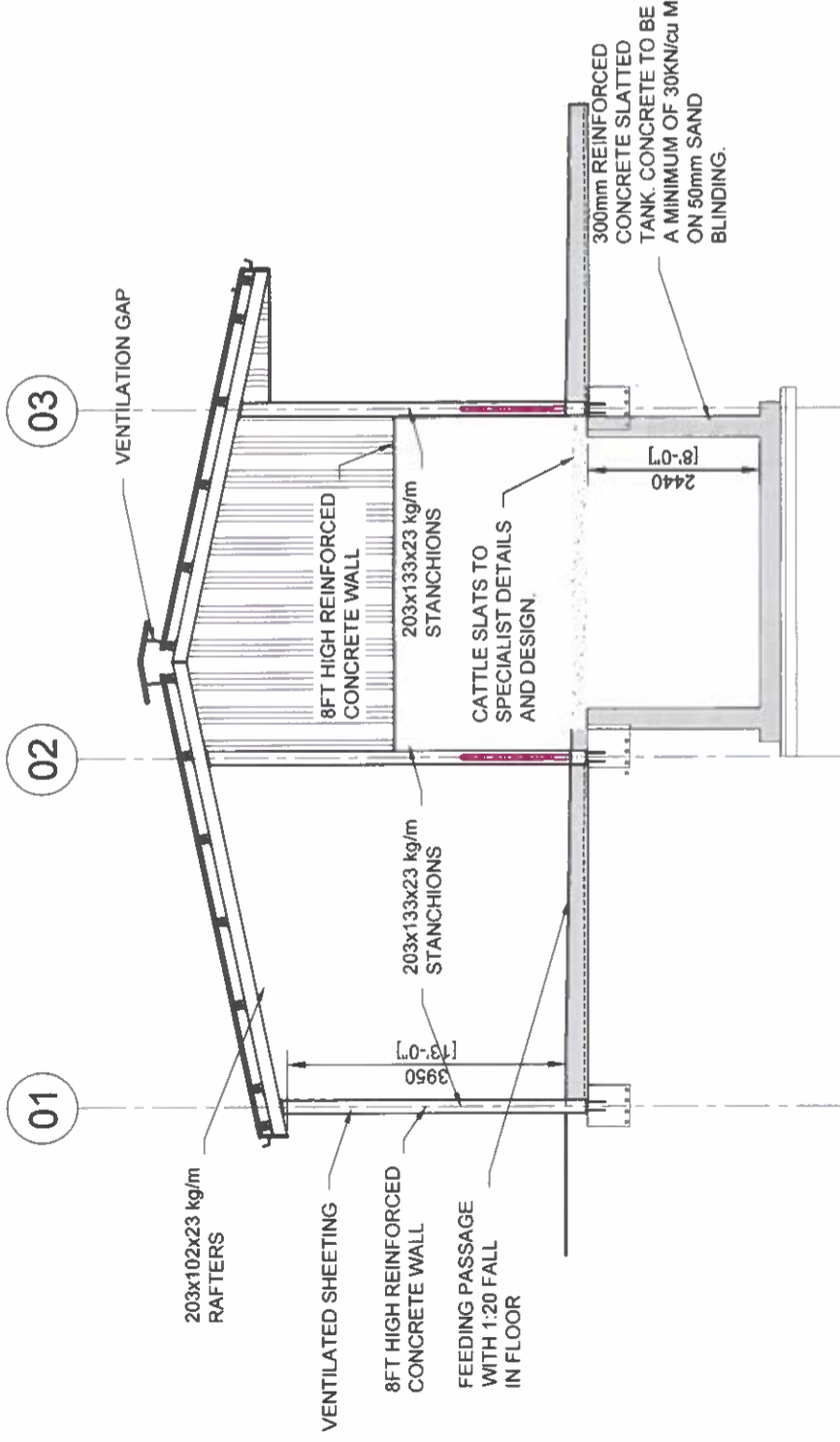
BUILDING SHALL CONFORM TO THE CURRENT EDITION OF F.D.S. S.123, S.102, S.101 & S.125

SIDE ELEVATION

SCALE 1:100

SIDE ELEVATION

SCALE 1:100



SECTION A-A

SCALE 1:100



PL02	11/08/25	ISSUED AS PART OF SECTION'S APPLICATION	M.G.	M.G.
PL01	08/11/24	ISSUED AS PART OF SECTION'S APPLICATION	M.G.	M.G.

Project	Agricultural Development at Cloonown Townland, Athlone, Co. Roscommon			
Client	Cathal Dunning			

Drawn by	Mark Gallagher			
Scale	1:100 @ A3			
Date	06/09/2024			
Project	24.100-A012			
Sheet	PL02			

Mark Gallagher
Oldtown, Cloonown, Athlone, Co. Roscommon
Tel: 086 1038220

ROOF CLADDING MATERIALS
CLADDING MATERIALS SHALL COMPLY WITH THE CURRENT EDITION OF S102 AND FIXED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. ALL ROOF TIMBERS TO BE STAMPED.

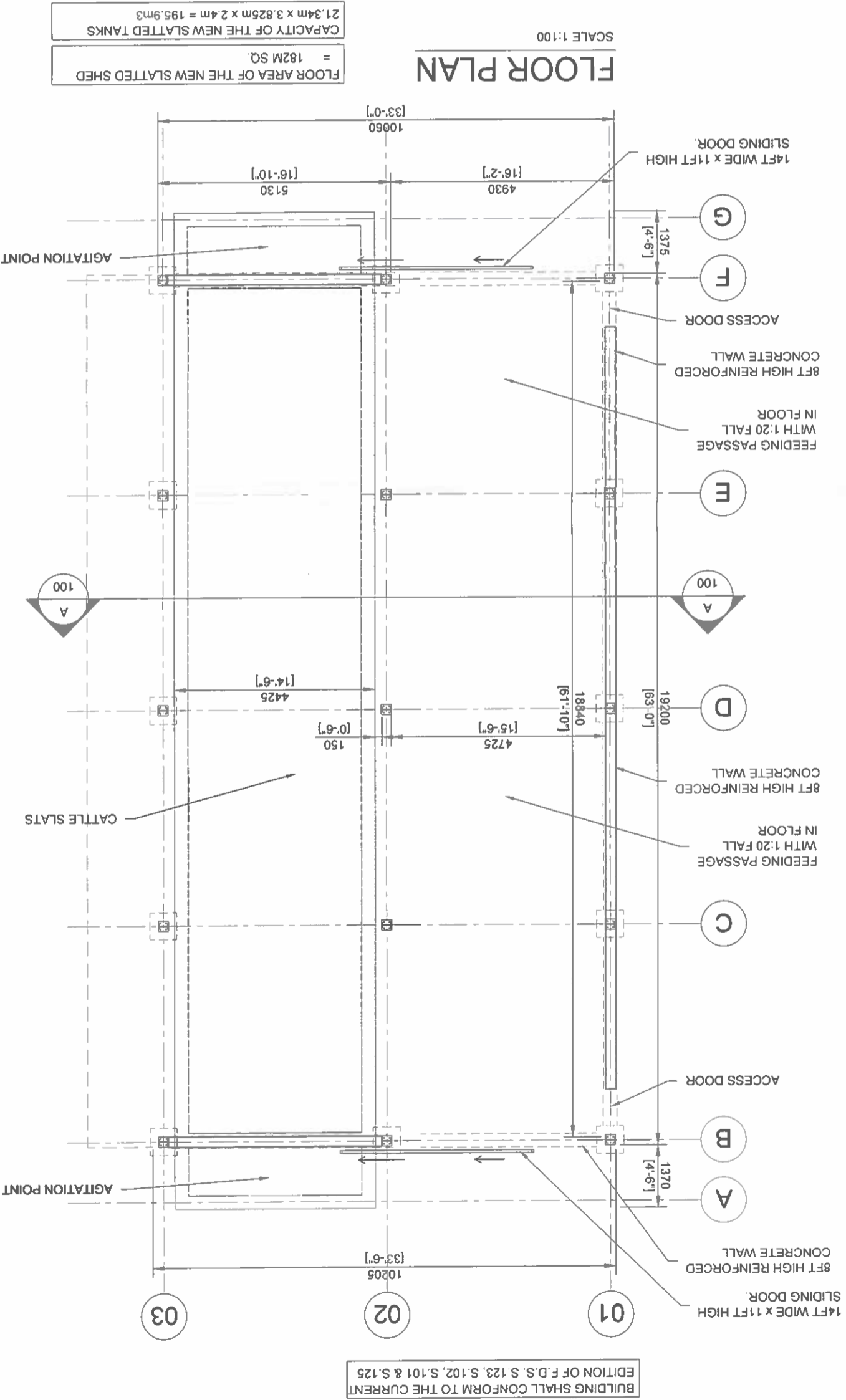
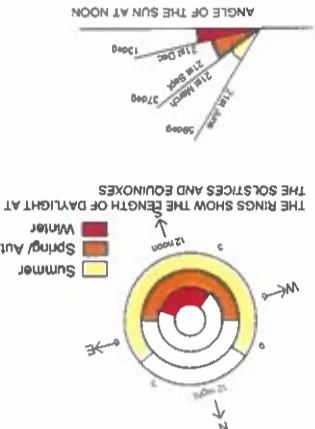
GUTTERS AND DOWN PIPES
ROOFS SHALL BE FITTED WITH GUTTERS AND DOWN PIPES COMPLETE WITH NECESSARY BRACKETS AND SECURELY FIXED.

VENTILATION OF STRUCTURE
PERMANENT OPEN VENTILATION SHALL BE PROVIDED, AS SPECIFIED IN S.123, AS A STRICT CONDITION OF GRANT-AID, IN ORDER TO PROTECT ANIMAL HEALTH AND THE WORKING LIFE OF STRUCTURE.

LIGHTING DAY LIGHTING
SHOULD BE RELIED ON TO THE MAXIMUM BY FITTING TRANSLUCENT SHEETS ON EACH ROOF SLOPE AS FOLLOWS IN SECTION 7: SERVICES. TRANSLUCENT SHEETS MAY BE OMITTED WHERE SPACED SHEETING IS USED.



Mark Gallagher T41, 086 103220 Okeham, Clonow, Athlone, Co. Roscommon	
Drawn by M. Gallagher	24.100-A010 PL02
Scale 1:100 @ A3	06/09/2024
Slatted House Floor Plan	
Cathal Dunning	
Agricultural Development at Clonow Townland, Athlone, Co. Roscommon	
Issue	18.08.22
Issue	18.08.22
Issue	18.08.22
Issue	18.08.22



SAFETY NOTICES
IT IS RECOMMENDED THAT AT LEAST ONE SAFETY NOTICE SHOULD BE PUT ON THE SIDE OF A BUILDING NEXT TO WHICH A SLURRY AGITATION POINT IS SITUATED. NOTICES ARE AVAILABLE FROM TEAGASC

FLOOR
A SOLID FLOOR IS PREFERRED. FLOOR SHALL BE OF 150MM CONCRETE ON 150MM WELL COMPACTED HARDWARE INCORPORATING 1,000 GAUGE POLYETHENE DPC. FLOOR FALL SHALL BE 1 IN 48.

SLATS
SHALL COMPLY WITH S.249: 1993 CATTLE SLATS. A CERTIFICATE OF SLAT MANUFACTURE FROM A SUPPLIER SHOULD BE OBTAINED.

CREEP FLOOR
A SOLID FLOOR IS PREFERRED. FLOOR SHALL BE OF 100MM CONCRETE ON 150MM WELL COMPACTED HARDWARE INCORPORATING 1,000 GAUGE POLYETHENE DPC. FLOOR FALL SHALL BE 1 IN 20.

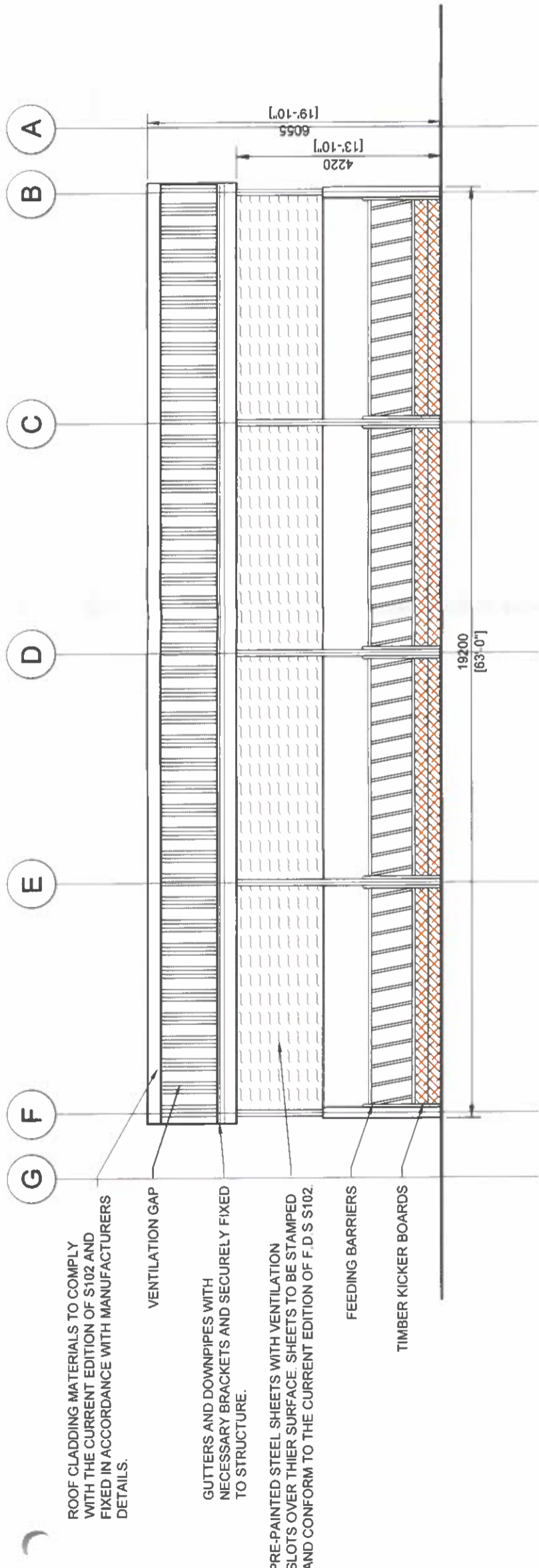
AGITATION
THE DESIGN OF THE TANK AT THE AGITATION ENDS, SHOULD BE OUTSIDE THE BUILDING AND COVERED BY REINFORCED SOLID CONCRETE SLABS.

REINFORCEMENT
SHALL CONSIST TO HIGH YIELD (H.Y) STEEL WITH RIBBED FINISH COMPLYING WITH THE CURRENT EDITION OF B.S.4449. ALL STEEL SHALL BE FREE FROM MILL SCALE AND HEAVY DEPOSITS OF RUST. STEEL BARS SHALL NOT BE STRAIGHTENED AND RE-BENT WHERE THE LENGTH OF THE BAR REQUIRED EXCEEDS THE LENGTH SUPPLIED. A LAPPED JOINT SHALL BE ADOPTED THE OVERLAP SHALL BE AT LEAST 40 TIMES THE DIAMETER IN TANKS WHERE THE OUTER WALLS ARE MORE THAN 4M APART. AND/OR WHERE TANKS ARE SUBJECT TO ANY GROUNDWATER PRESSURE THEN THE WHOLE FLOOR SHALL BE REINFORCED WITH STEEL MESH 200MM ON EACH SIDE. MESH SHALL ALSO BE OVERLAPPED 200MM ACROSS FOOTING STEEL. MESH SHALL BE LAID CLOSE TO THE TOP OF THE SLAB WITH A MIN. 75MM COVER.

SLIDING DOORS
DOOR TO PASSAGES SHALL BE SLIDING. THE SLIDING GEAR SHALL BE FITTED AND ERECTED AS PER MANUFACTURERS INSTRUCTIONS FOR THE SIZE AND WEIGHT OF THE DOORS FITTED. A SLIDING DOOR SHALL PREFERABLY INCORPORATE A HINGED TYPE OUTWARD OPENING SINGLE PERSONNEL DOOR WITH A MINIMUM HEAD-ROOM OF 2.2 METRES ABOVE GROUND LEVEL CLADDING MATERIALS FOR DOORS SHALL CONFORM TO THE STANDARDS SPECIFIED IN S.102 FOR ANIMALS HOUSES.

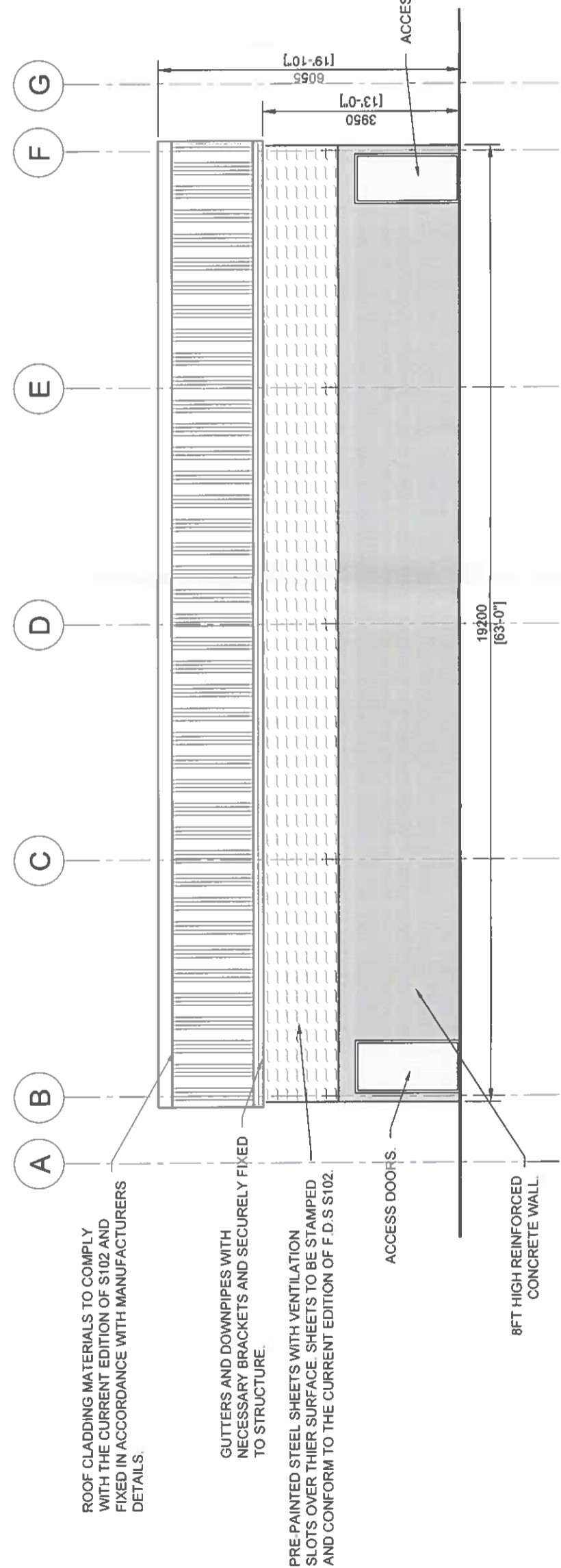
SPACED SHEETING
SPACED SHEETING IS MANDATORY FOR ANY NEW ROOF IN EXTENSION OR CONVERSION WORK WHERE A FULL VENTILATION OUTLET IS NOT AVAILABLE. NOTE ALSO THAT SPACED SHEETING IS NOT PERMITTED FOR INLET VENTILATION.

HEIGHT AND ROOF SLOPE
NEW SLATTED LIVESTOCK UNITS SHALL HAVE A MAXIMUM HEIGHT AT EAVES OF 4.0M. ROOF WITH VENTED SHEETING 1.5M FROM EAVES. ROOF SHALL HAVE A MINIMUM OF A 6° SLOPE.



FRONT ELEVATION

SCALE 1:100



REAR ELEVATION

SCALE 1:100

BUILDING SHALL CONFORM TO THE CURRENT EDITION OF F.D.S. S.123, S.102, S.101 & S.125



NO. 21	19.08.20	ISSUED AS PART OF SECTION'S APPLICATION	M.D.	M.D.
NO. 21	08.11.24	ISSUED AS PART OF SECTION'S APPLICATION	M.D.	M.D.

Project
Agricultural Development at Cloonowna Townland, Athlone, Co. Roscommon

Client
Cathal Dunning

Drawn by
Slatted House Front and Rear Elevation

Scale
1:500 @ A3

Drawn by
M. Gallagher

Project No.
24.100-A011

PL02

Mark Gallagher
Oldtown, Clonsilla, Athlone, Co. Roscommon
Tel: 086 1038210

THE DEVELOPER SHALL COMPLY WITH THE PROVISIONS AND REQUIREMENTS OF THE LOCAL GOVERNMENT (WATER POLLUTION) ACT 1977 AND 1990 AND THE LOCAL GOVERNMENT (AIR POLLUTION) ACT 1987.

ALL UNCONTAMINATED SURFACE WATER PRECEDING DURING OR IMMEDIATELY AFTER PERIODS OF UNUSUALLY HEAVY RAINFALL, ON FROZEN GROUND OR AT ANY TIME DURING WHICH THERE WOULD BE HEAVY RUN-OFF OF SURFACE WATER.

THE CONTENTS OF THE SLATTED TANKS SHALL BE LAND-SPREAD IN ACCORDANCE WITH THE STANDARDS LAID DOWN BY THE DEPARTMENT OF AGRICULTURE, FOOD AND FORESTRY.

NO SLURRY, EFFLUENT, CONTAMINATED WATER OR SURFACE WATER SHALL BE DISCHARGED FROM THE SITE OR LAND ONTO ANY ROAD OR PUBLIC RIGHT OF WAY.

NO SYSTEM OF OVERFLOW, OVERSPILL OR DIRECT DISCHARGE SHALL TAKE PLACE FROM THE PROPOSED SLATTED TANK.

THE DEVELOPMENT SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF AGRICULTURE, FOOD AND FORESTRY.

THE ROOFING MATERIAL SHALL BE GREY, DARK BROWN, BLUE-BLACK OR DARK GREEN IN COLOUR.

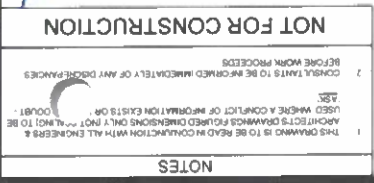
THE SITE SHALL BE KEPT IN A CLEAN AND TIDY CONDITION AT ALL TIMES.

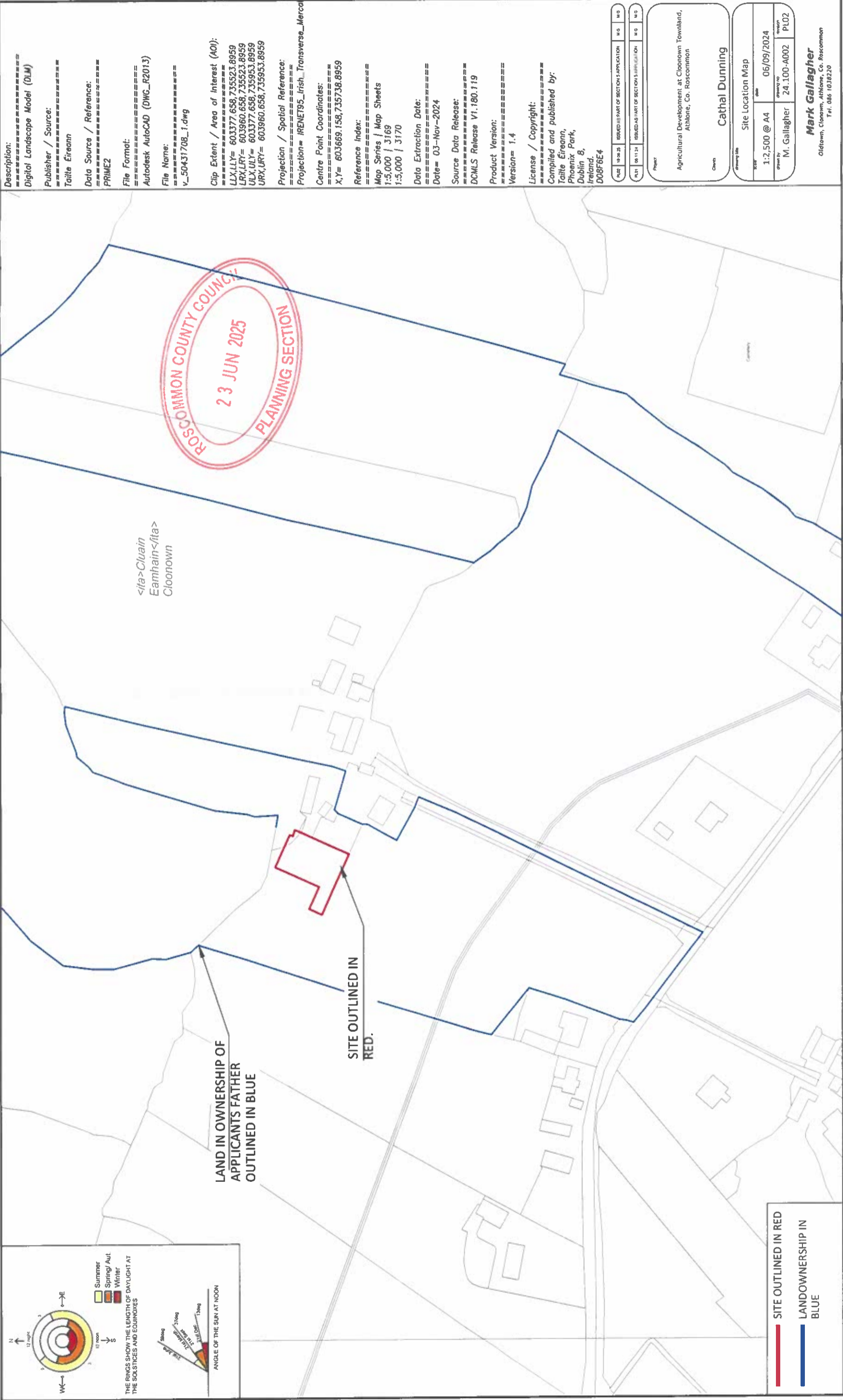
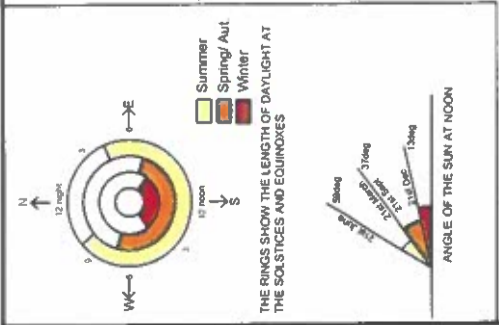
THE PROPOSED SLATTED HOUSE SLURRY TANKS AND ALL TANKS ON SITE SHALL BE LEAK PROOF.

THE WASTE SHALL NOT BE LAND-SPREAD WITHIN 100FT. OF ANY WELL, RIVER, STREAM, WATERCOURSE OR WITHIN 300FT. OF ANY LAKE OR ANY KNOWN SOURCES OF DRINKING WATER.

NOTE:

FOR EXTENTS OF LANDS UNDER APPLICANTS
FATHER REFER TO SITE LOCATION MAPS.





Description:
Digital Landscape Model (DLM)

Publisher / Source:
Taithe Eireann

Data Source / Reference:
PRIME2

File Format:
Autodesk AutoCAD (DWG_R2013)

File Name:
V_50431708_1.dwg

Clip Extent / Area of Interest (AOI):
LX,LLY= 603377.658,735523.8959
LX,LLY= 603960.658,735523.8959
LX,LLY= 603377.658,735523.8959
URX,URY= 603960.658,735523.8959

Projection / Spatial Reference:
Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
X,Y= 603669.158,735738.8959

Reference Index:
Map Series / Map Sheets
1:5,000 / 3169
1:5,000 / 3170

Data Extraction Date:
Date= 03-Nov-2024

Source Data Release:
DCMLS Release V1.180.119

Product Version:
Version= 1.4

License / Copyright:
Compiled and published by:
Taithe Eireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

NO	DATE	ISSUED AS PART OF SECTION 5 APPLICATION	M/S	M/O
001	08.11.24	ISSUED AS PART OF SECTION 5 APPLICATION	M/S	M/O

Project:
Agricultural Development at Cloonown Townland, Athlone, Co. Roscommon

Client:
Cathal Dunning

Site Location Map:
Scale: 1:2,500 @ A4
Date: 06/09/2024
Drawn by: M. Gallagher
Sheet no: 24.100-A002
Revision: PL02

Mark Gallagher
Oldtown, Cloonown, Athlone, Co. Roscommon
Tel: 086 1038220

Sharon Kelly

From: Mark Gallagher <gallagher.mark83@gmail.com>
Sent: Sunday 22 June 2025 21:13
To: Planning Department
Subject: Section 5 Exempted Development Cathal Dunning
Attachments: 24.100 Section 5 Application Form.pdf; 24.100 Letter of Consent from Owner.pdf; 24.100-A010 Slatted House Plan.pdf; 24.100-A011 Slatted House Front and Rear Elevations.pdf; 24.100-A012 Slatted House Plan Side Elevations and Section.pdf; 24.100-A001 Site Location Map.pdf; 24.100-A003 Site Layout Plan.pdf; 24.100-A002 Site Location Map.pdf

Morning

Please see attached Section 5 Application for Agricultural Building for Cathal Dunning in Clonown, Athlone, Co. Roscommon. See attached the Application Form, Letter of Consent, Site Location Maps, Layout Map, Plans, Elevations and Section of the building.

I will contact you today to organise payment of planning fee.

I trust you find the attached in order but should you have any queries please do not hesitate to contact me.

Regards

Mark Gallagher
0861038220

