

**ROSCOMMON COUNTY COUNCIL**

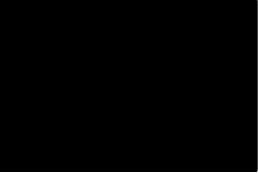
**PLANNING AND DEVELOPMENT ACT, 2000 (as amended)**

**SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**NOTIFICATION OF DETERMINATION**

**REGISTERED POST**

Sean Ned Mulready,



Reference Number: DED 912  
Application Received: 1<sup>st</sup> July, 2025  
Name of Applicant: Sean Ned Mulready  
Agent: N/A

**WHEREAS** a question has arisen as to whether the basic refurbishment, repair & decoration (no change to structure at all) with works including; 1)new flooring; 2)repair to roof; 3)new electrics and plumbing; 4)new kitchen & 5)retiling bathroom at James Connolly House, Foxwood, Kilmore, Co. Roscommon, N41 TC79, is or is not development and is or is not exempted development:

**AND WHEREAS** Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended.
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site.


**AND WHEREAS** Roscommon County Council has concluded that:

- (a) The works outlined above are development.
- (b) The proposed works fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:  
*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*
- (c) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

**NOW THEREFORE:**

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development for the basic refurbishment, repair & decoration (no change to structure at all) with works including; 1)new flooring; 2)repair to roof; 3)new electrics and plumbing; 4)new kitchen & 5)retiling bathroom at James Connolly House, Foxwood, Kilmore, Co. Roscommon, N41 TC79, **is development that is exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Mervyn Walsh,  
Administrative Officer,  
Planning.

Date: ~~18~~<sup>TH</sup> September, 2025

**ADVICE NOTE**

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Coimisiún Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

**ADVICE NOTE**

This Declaration is based on the relevant Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended) at the date of issue. In the event that the Planning and Development Act 2000 (as amended) or the Planning and Development Regulations 2001 (as amended) change prior to the works being carried out this Declaration may no longer apply.

**Planner's Report on application under  
Section 5 of the Planning and Development Act 2000 (as amended)**

<b>Reference Number:</b>	DED 912
<b>Re:</b>	Permission for the basic refurbishment, repair & decoration, (no change to structure at all) with works including 1) new flooring; 2) repair of roof; 3) new electrics and plumbing; 4) new kitchen & 5) retiling bathroom under the Planning & Development Act (Exempt Development) Regulations 2018
<b>Name of Applicant:</b>	Sean Ned Mulready
<b>Location of Development:</b>	James Connolly House, Foxwood, Kilmore, Co. Roscommon, N41 TC79.
<b>Site Visit:</b>	29 <sup>th</sup> July 2025

**WHEREAS a question has arisen as to whether the following works for the basic refurbishment, repair & decoration, (no change to structure at all) with works including 1) new flooring; 2) repair of roof; 3) new electrics and plumbing; 4) new kitchen & 5) retiling bathroom at the above address is or is not development and is or is not exempted development.**

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

**Site Location & Development Description**

The site consists of an east facing detached bungalow located at Foxwood, Kilmore, County Roscommon. The subject dwelling is accessed off the L-5066 Local Secondary Road. The proposed development consists of basic refurbishment, repair & decoration, (no change to structure at all) with works including 1) new flooring; 2) repair of roof; 3) new electrics and plumbing; 4) new kitchen & 5) retiling bathroom.

**Archaeological and Cultural Heritage**

No RMP recorded in the likely zone of influence of the proposed development. No Protected structures or structures listed in the National Inventory of Architectural Heritage in the likely zone of influence of the proposed development.

### **Appropriate Assessment**

The closest European site to the proposed development is Annaghmore Lough (Roscommon) SAC (Site Code 001626) located c. 9.1km from the subject site.

Other Designations include Kilglass and Grange Loughs PNHA (Site Code 000608) located c. 700m from the subject site.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment can, therefore, be excluded.

### **Planning History**

#### **Planning Ref. No. 901**

**Development Description:** Erection of an additional room

**Applicant:** John Hynes

**Decision:** Granted

#### **PD/6747/83A**

**Development Description:** Extension consisting of bedroom, bathroom & construction of septic tank

**Applicant:** John Hynes

**Decision:** Granted

### **Relevant statutory provisions**

#### **Planning and Development Acts 2000 (as amended)**

##### **Section 2. -(1)**

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

##### **Section 3. -(1)**

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1) of the Act defines certain types of development as being 'exempted development'. Of potential relevance is section 4(1)(h) which provides as follows:

*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

### **Planning and Development Regulations, 2001 as amended**

#### **Article 6 (1)**

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

#### **Article 9 (1) applies;**

Development to which article 6 relates shall not be exempted development for the purposes of the Act

viiB) comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

### **Assessment**

In accordance with the Planning and Development Act, 2000, as amended Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said works constitute development, as defined in Section 3 of the said Act.

## Extent of works:

### *Internal:*

- Lead flashing and rafters repair and replace where necessary (like for like)
- Supply and fit kitchen (New – no structural change)
- Supply and fit bathroom (New – no structural change)
- Replacement front and rear external doors (like for like)
- Replacement internal doors/frames and architrave
- Skirting, trims and panelling repair
- Fascia Soffit and rainwater fixtures replace (like for like)
- Painting and decorating internal
- Painting/decorating external (like for like)
- External flat roof repair and resurface as follows: vented joists, earthwool insulated, plywood and EPDM (firestone membrane) finish. Slightly sloped with pressed metal flashings
- New tiling wet room
- New flooring throughout
- Ventilation upgrades to each room (including addition of “smart-vent”. No structural changes or new cutouts required)
- Boiler upgrade

### *External:*

- Site Clearance to rear and side of house for access
- New external French drain to replace current drain (like for like)
- Repair of external paths (like for like)
- New step to rear door (like for like)
- Main roof and chimney repair (like for like) (roof repair details: tiled, felt and battened, vented soffit, traditional roof with insulated joist layer below attic space.)

These works have been considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The stated works fall under the provisions of Section 4 (1)(h) of the Planning and Development Act 2000 (as amended).

## **Environmental Considerations**

With regard to Article 9 (1)(a) of the Planning and Development Regulations 2001 (as amended), it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Article 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

## **Recommendation**

**WHEREAS a question has arisen as to whether a proposed development;** for the basic refurbishment, repair & decoration, (no change to structure at all) with works including; 1) new flooring; 2) repair of roof ; 3) new electrics and plumbing; 4) new kitchen & 5) retiling bathroom at James Connolly House, Foxwood, Kilmore, Co. Roscommon, is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

## **AND WHEREAS I have concluded that**

- The works outlined above are development.
- The proposed works fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:

*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

**AND WHEREAS I have concluded that the said development for the basic refurbishment, repair & decoration of a derelict house as outlined above at James Connolly House, Foxwood, Kilmore, Co. Roscommon is an exempted development.** I recommend that a declaration to that effect should be issued to the applicant.

**Signed:**   
Graduate Planner

**Date:** 17<sup>th</sup> September 2025

**Signed:**   
Senior Executive Planner

**Date:** 17<sup>th</sup> September 2025























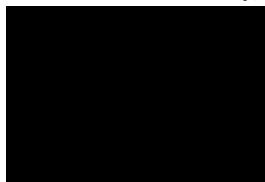




Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



Sean Ned Mulready,



Date: 1<sup>st</sup> July, 2025  
Planning Reference: DED 912

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission for the basic refurbishment, repair & decoration, (no change to structure at all) with works including; 1) new flooring; 2) repair of roof; 3) new electrics and plumbing; 4) new kitchen & 5) retiling bathroom under the Planning & Development Act (Exempted Development) regulations 2018 at James Connolly House, Foxwood, Kilmore, Co. Roscommon, N41 TC79.

\*\*\*\*\*

A Chara,

I wish to acknowledge receipt of the application which was received on the 12<sup>th</sup> June, 2025, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No: L/01/0/235526 dated 1<sup>st</sup> July, 2025 receipt enclosed herewith.

**Note:** Please note your Planning Reference No. is **DED 912**  
This should be quoted in all correspondence and telephone queries.

Mise le meas,

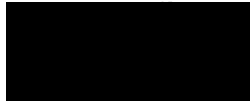
Alan O'Connell,  
Senior Executive Planner,  
Planning Department.

Roscommon County Council  
Aras an Chontae  
Roscommon  
09066 37100

01/07/2025 11:27:06

Receipt No : L01/0/235526

SEAN MULREADY



PLANNING APPLICATION FEES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	
DED 812	

Total	80 00 EUR
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Tendered	
Credit/Debit Card	80 00
1158	

Change	0 00
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Issued By : Aine McDermott  
From : Central Cash Office





Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



Áras an Chontae,  
Roscommon,  
Co. Roscommon.

Phone: (090) 6637100

Email: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)

## **Roscommon County Council**

### **Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development**

Name of Applicant(s)	Sean Ned Mulready
Name of Agent	n/a
Nature of Proposed Works	Basic refurbishment, repair and decoration. No changes to structure at all. New flooring, repair of roof. New electrics and plumbing. New kitchen fitted. Retiling of bathroom
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	James Connolly House, Foxwood, Kilmore, Co. Roscommon, N41TC79 Townland: Cullyshinnoge OS Grid Ref: M 97794 90266
Floor Area: a) Existing Structure b) Proposed Structure	a) <u>64.78m<sup>2</sup>M</u> b) <u>64.78m<sup>2</sup>M</u>
Height above ground level:	zero
Total area of private open space remaining after completion of this development	389m <sup>2</sup>
Roofing Material (Slates, Tiles, other) (Specify)	Rolled membrane composite. No visible difference to current

## Roscommon County Council

### Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	No change to current material (plaster). No change to colour. Will be repainted as same
Is proposed works located at front/rear/side of existing house.	Roof repair to rear. All sides of house repainted same colour
Has an application been made previously for this site	no
If yes give ref. number (include full details of existing extension, if any)	
Existing use of land or structure	residential house.
Proposed use of land or structure	residential house.
Distance of proposed building line from edge of roadway	No Change (3.8m)
Does the proposed development involve the provision of a piped water supply	No Change. Repair/clean out if required
Does the proposed development involve the provision of sanitary facilities	Already in place. No new provision required.

#### Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature:

J Mulvey

Date:

1/4/25

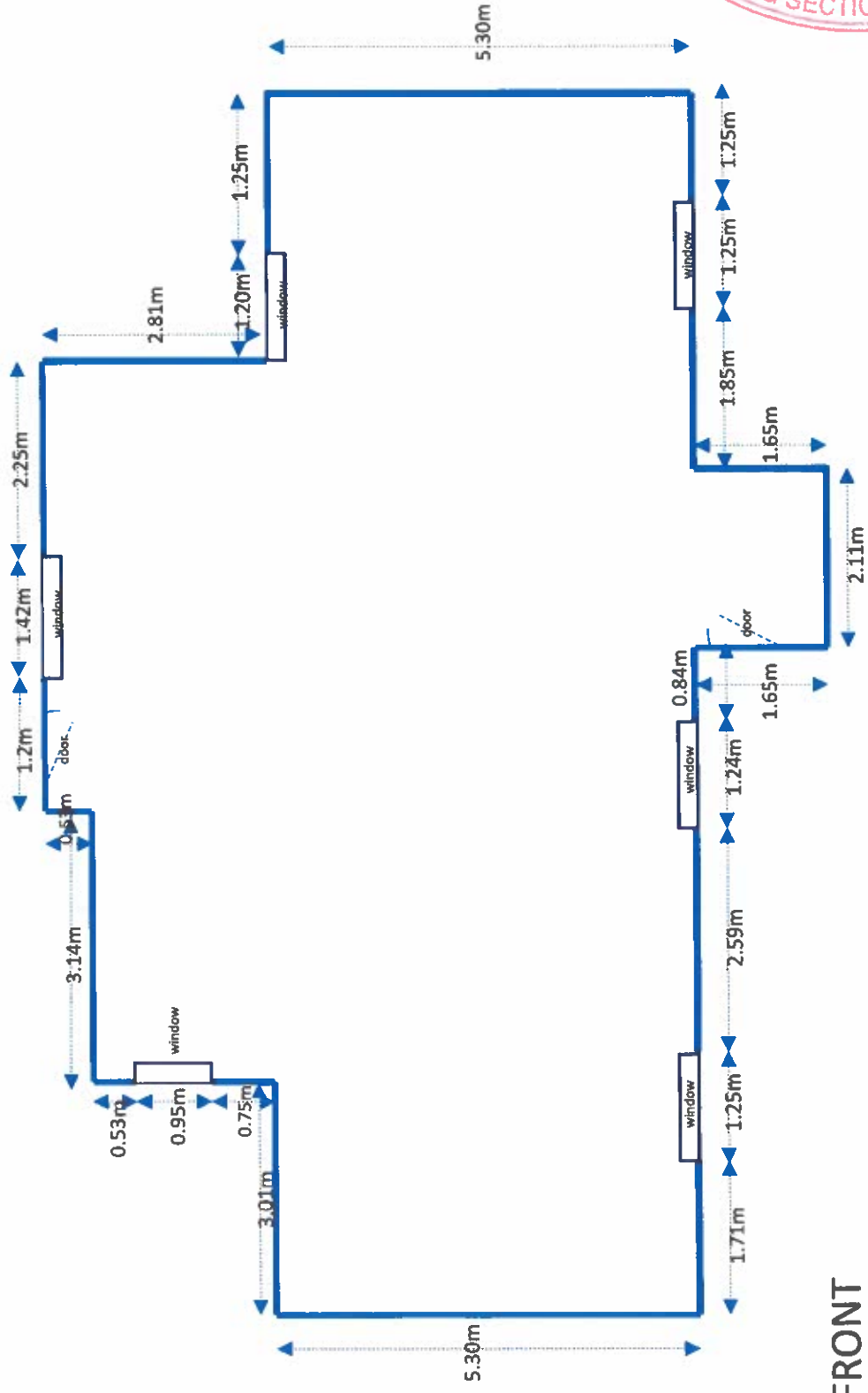


**Note:** This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed

# FOOT PRINT PLAN

REAR



FRONT



The Property  
Registration Authority  
An tÚdarás  
Clárúcháin Maoin  
Folio: RN134F



This map should be read in conjunction with the folio.

Registry maps are based on OSI topographic mapping. Where registry maps are printed at a scale that is larger than the OSI published scale, accuracy is limited to that of the original OSI map scale.

For details of the terms of use and limitations as to scale, accuracy and other conditions relating to Land Registry maps, see [www.landireg.ie](http://www.landireg.ie).

This map incorporates Ordnance Survey Ireland (OSI) mapping data under a licence from OSI. Copyright © OSI and Government of Ireland.

(centre-line of parcel(s) edged)

- Freehold
- Leasehold
- Subleasehold

Burdens (may not all be represented on map)

- Right of Way / Wayleave
- Turbary
- Pipeline
- Well
- Pump
- Septic Tank
- Soak Pit

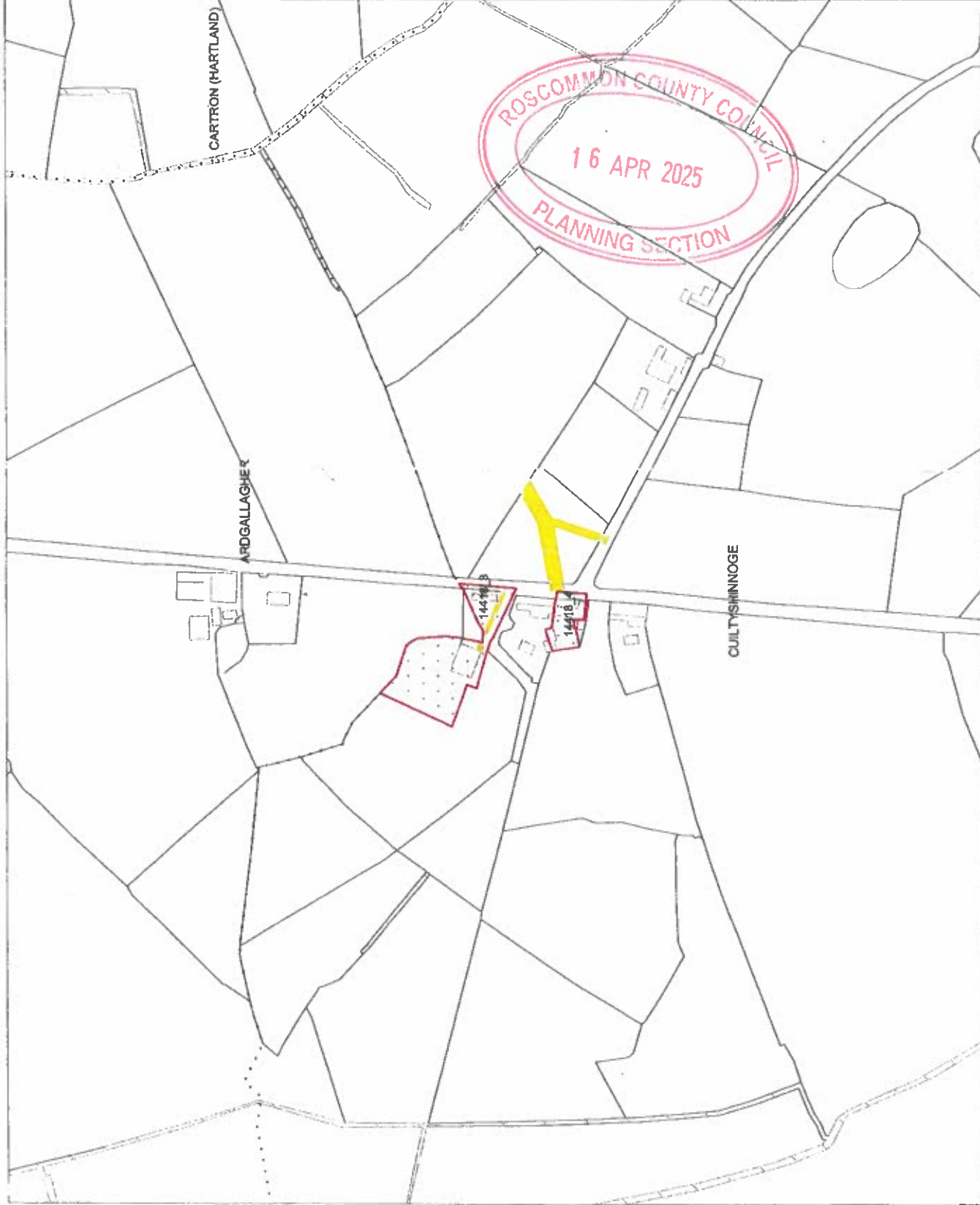


A full list of burdens and their symbology can be found at [www.landireg.ie](http://www.landireg.ie)

The registry operates a non-conclusive boundary system. The Registry Map identifies properties not boundaries meaning neither the description of land in a register nor its identification by reference to a registry map is conclusive as to the boundaries or extent. (see Section 85 of the Registration of Title Act, 1964). As inserted by Section 62 of the Registration of Deed and Title Act 2006.



1:2500 Scale



# Land Registry Compliant Map



Taithe  
Éireann

**CENTRE COORDINATES:**  
ITM 597703,790332

**PUBLISHED:** 13/12/2023

**ORDER NO.:** 50373667\_1

**MAP SERIES:** 1:5,000

**MAP SHEETS:** 1985

**COMPILED AND PUBLISHED BY:**  
Taithe Éireann,  
Phoenix Park,  
Dublin 8,  
Ireland.  
D08F6E4

[www.taithe.ie](http://www.taithe.ie)

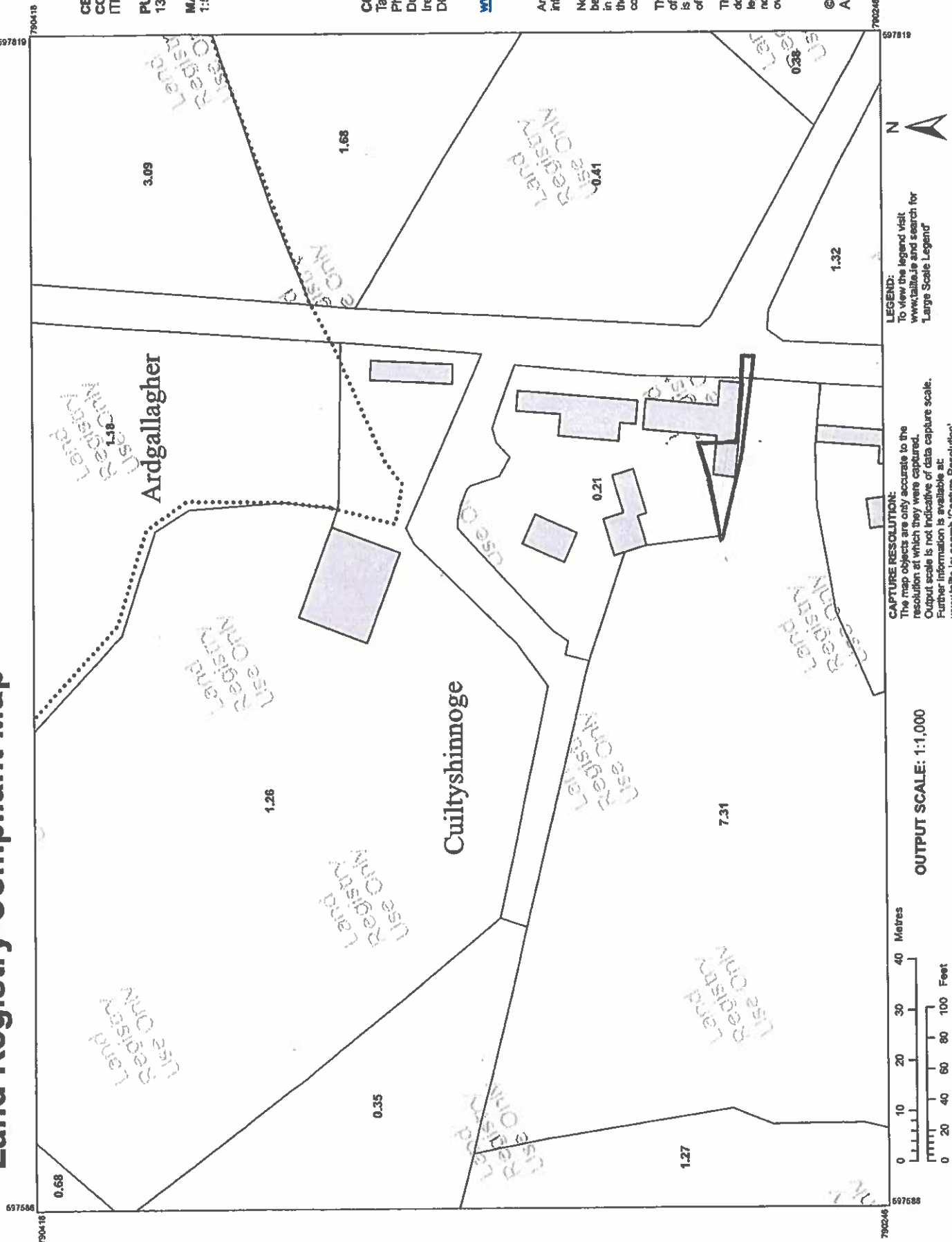
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FAO: Carmel Curley, Staff Officer,  
Planning Department, Roscommon County Council,

List of Proposed Works – as requested by email 28 APRIL 2025 in response to Permitted Development application made by Sean Ned Mulready [REDACTED] on 16<sup>th</sup> April 2025.

This is a comprehensive list of the proposed development at address: **James Connolly House, Foxwood, Kilmore, Carrick-on-Shannon, Co. Roscommon. N41TC79.**

*None of the works change the internal or external structure of the building. All repair and replacement work is carried out on a "like-for-like" basis, so no colours or materials are being substantially changed.*

#### List of Works

1. Site Clearance to rear and side of house for access
2. New external French drain to replace current drain (like for like)
3. Repair of external paths (like for like)
3. New step to rear door (like for like)
4. Main Roof and chimney repair (like for like) (roof repair details: tiled, felt and battened, vented soffit, traditional roof with insulated joist layer below attic space.)
5. Lead flashing and rafters repair and replace where necessary (like for like)
6. Supply & Fit of Kitchen (New – no structural changes)
7. Supply & Fit Bathroom (New – no structural changes)
8. Replacement front and rear external doors (like for like)
- 9 Replacement Internal doors/ frames and architrave
- 10 Skirting, trims and panelling repair
- 11 Fascia Soffit and rainwater fixtures replace (like for like)
12. Painting & Decorating internal
13. Painting/decorating external (like for like)
14. External Flat Roof repair and resurface as follows: Vented Joists, earthwool insulated, plywood and EPDM (firestone membrane) finish. Slightly sloped with pressed metal flashings.
15. New tiling in wet room
- 16 New flooring throughout
- 17 Ventilation upgrades to each room (including addition of "smart-vent". No structural changes or new cutouts required)
- 18 Boiler upgrade



**Carmel Curley**

---

**From:** Ned Mulready [REDACTED]  
**Sent:** Thursday 12 June 2025 14:52  
**To:** Carmel Curley  
**Subject:** Re: Section 5 Application  
**Attachments:** NED RENOVATION WORKS 12.06.2025[1] (1).pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged



Hi Carmel,

Please see the attached.

1. **Please clarify 'site clearance to rear and side of house for access'** This has been labeled on the site layout plan making clear that site clearance refers to removal of overgrowth to facilitate easy and safe access and is not referring to any building or excavation etc.
2. **Site Layout Plan to the scale of 1:500 indicating exact location of the proposed development.** This has been done as well with location coordinates added so precise location of development is made clear.

I'm really really hoping that this will now be sufficient. [REDACTED]

I really appreciate all your help and advice so far.

Thank you,  
Sean Ned Mulready  
[REDACTED]

On Fri, Jun 6, 2025 at 12:37 PM Carmel Curley <[CCurley@roscommoncoco.ie](mailto:CCurley@roscommoncoco.ie)> wrote:

Hi Sean,

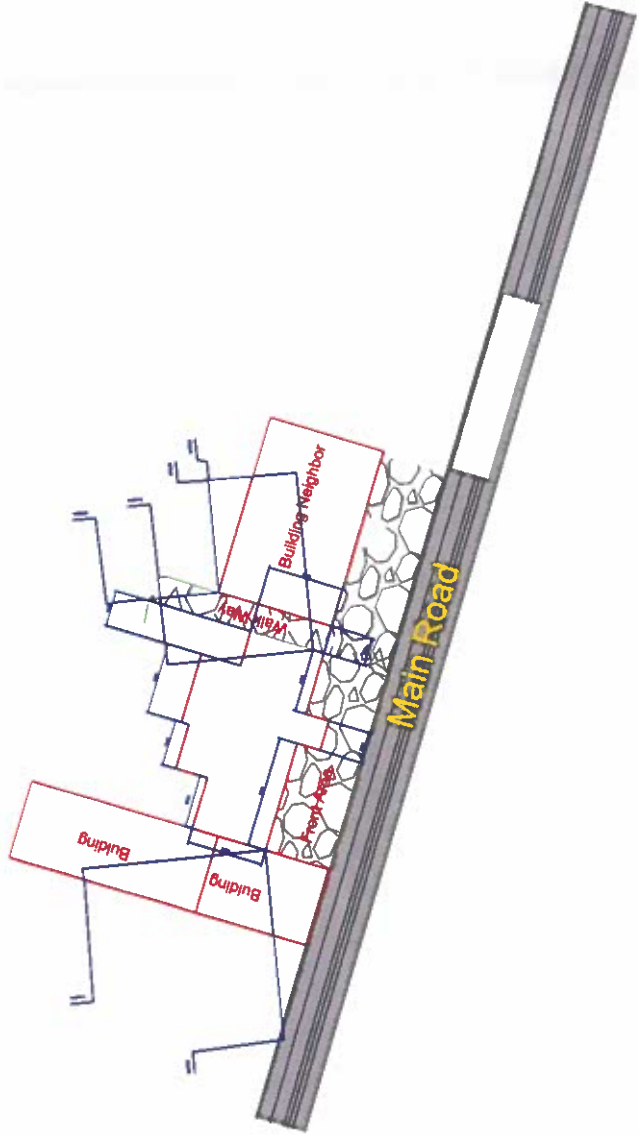
Further to our telephone conversation, please note we require the following;

1. Please clarify 'site clearance to rear and side of house for access'
2. Site Layout Plan to the scale of 1:500 indicating exact location of the proposed development

Thanks,

Carmel

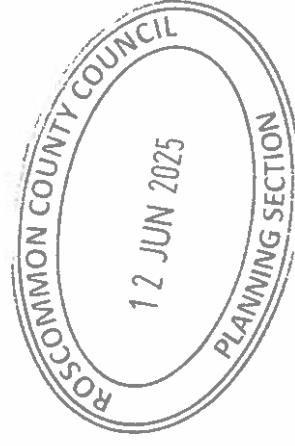
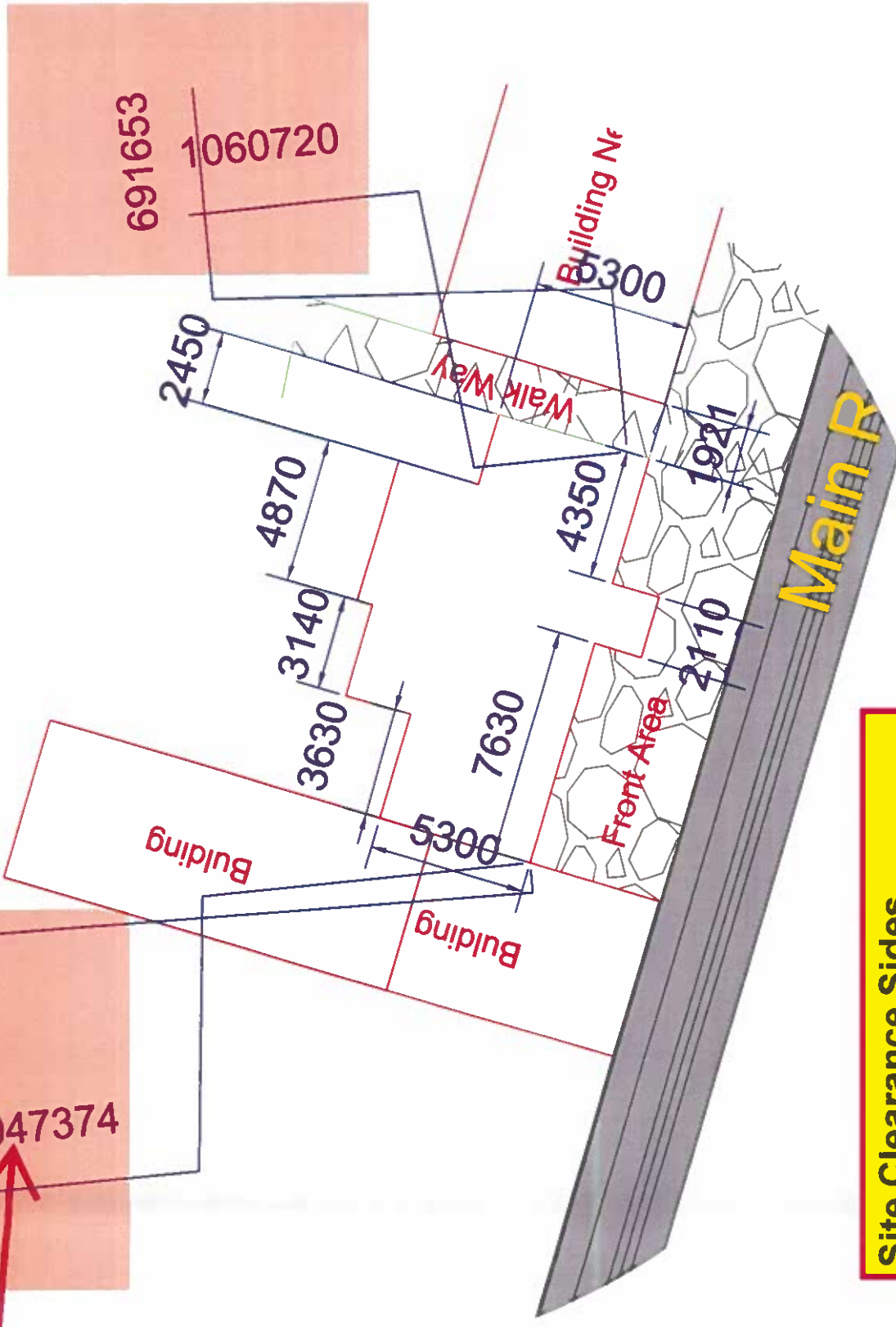
SCALE 1:500 @A3





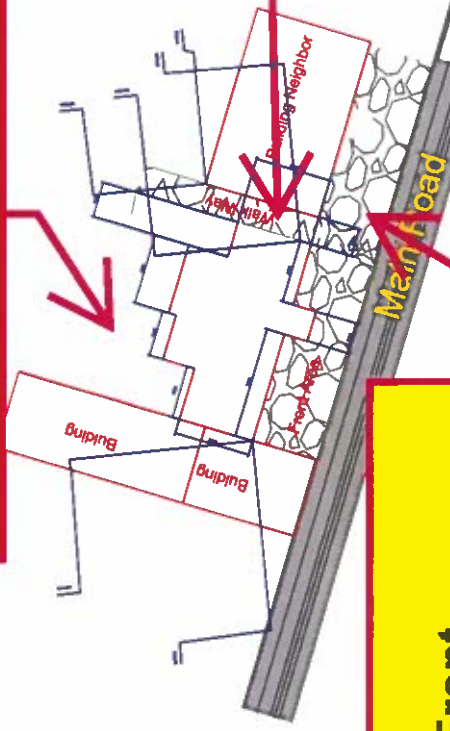
Covers where it is on  
the World coordinate  
system

687069  
1047374



**Site Clearance Rear**

- removal of overgrowth
- cleaning
- repair of any cracked or damaged ground necessary for safety
- no excavation / digging/ removal of ground

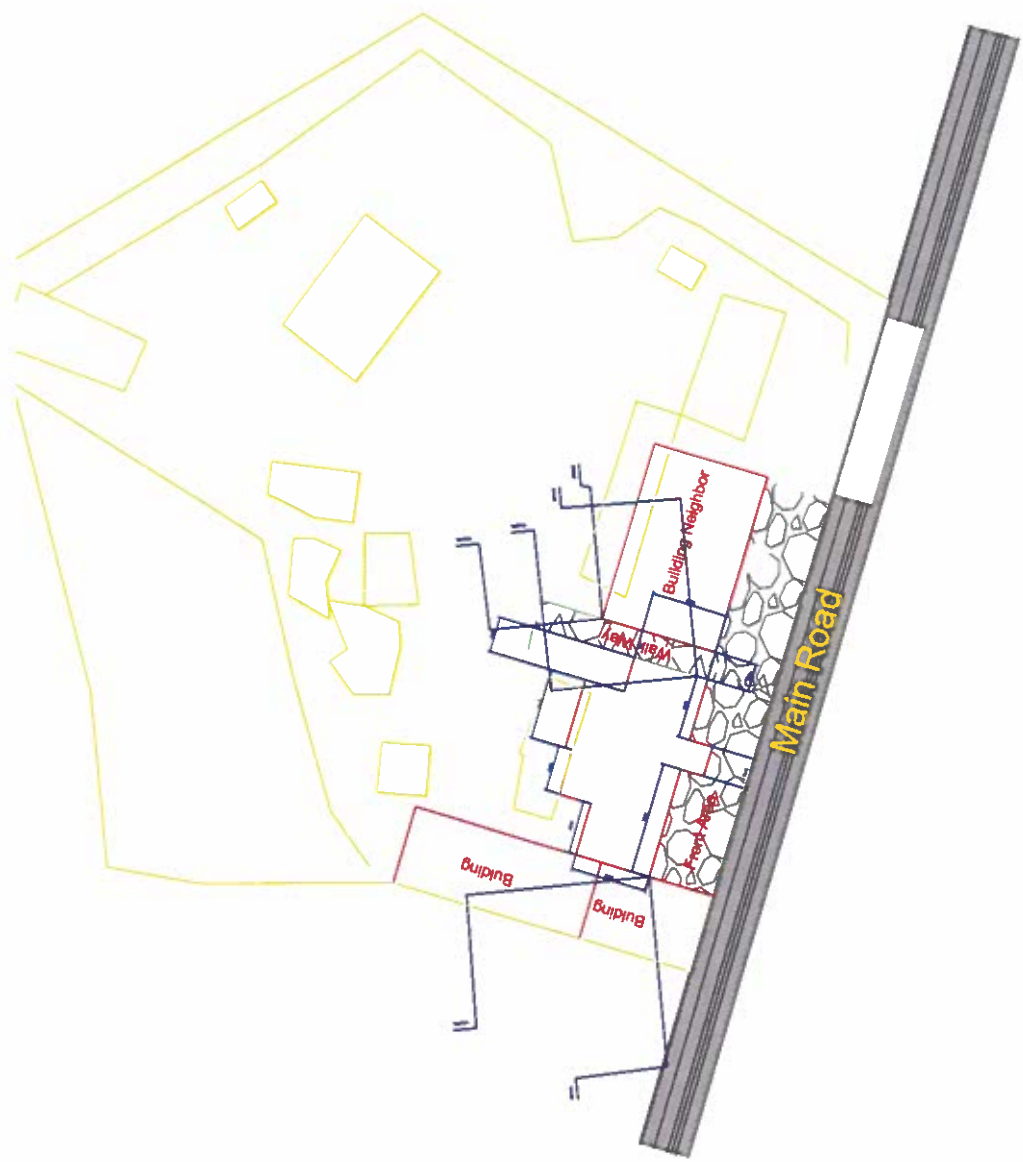
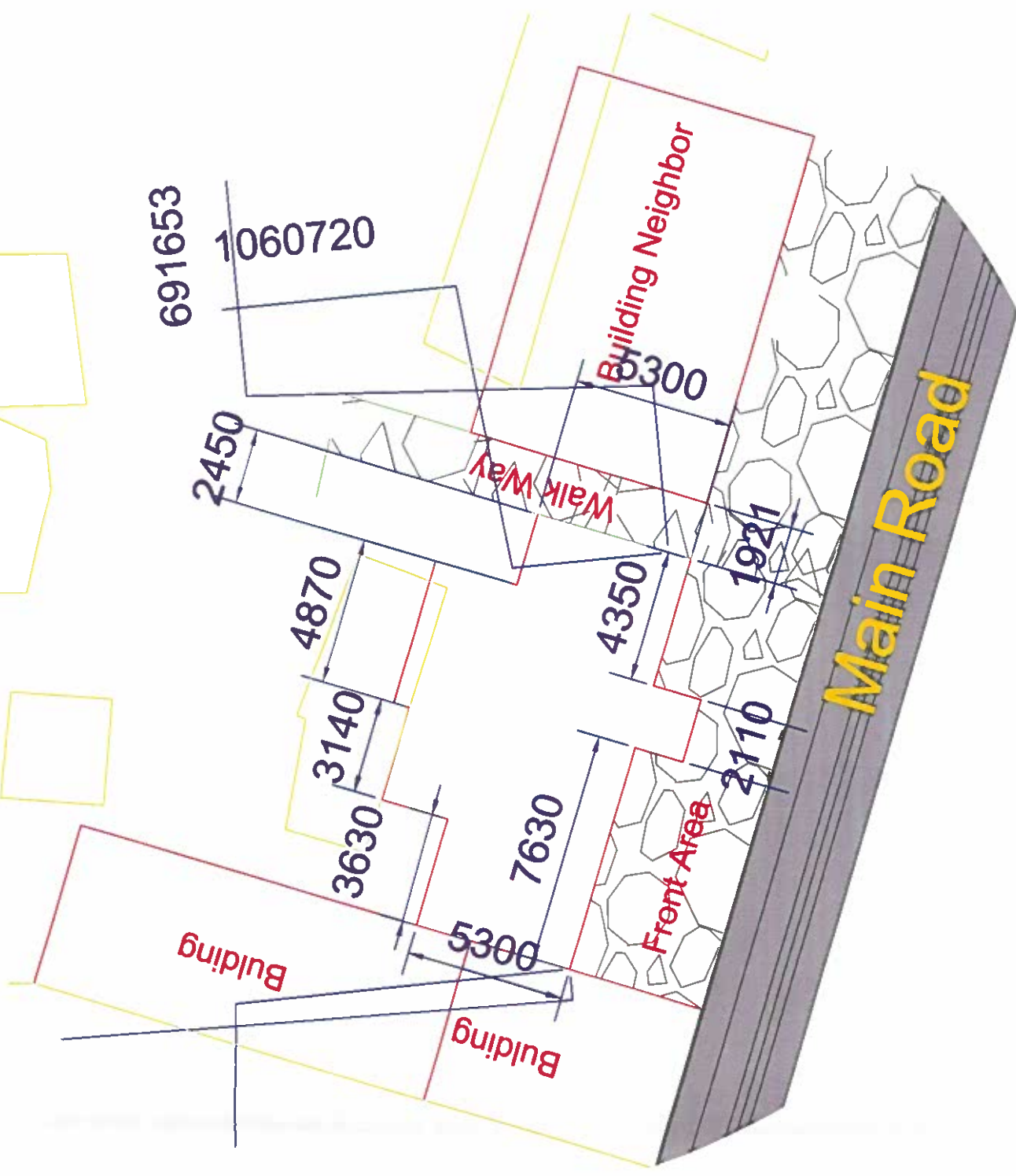
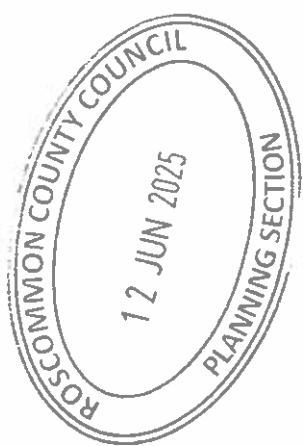


**Site Clearance Sides**

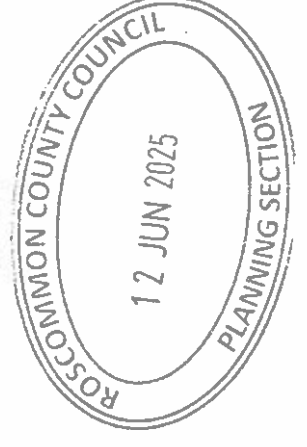
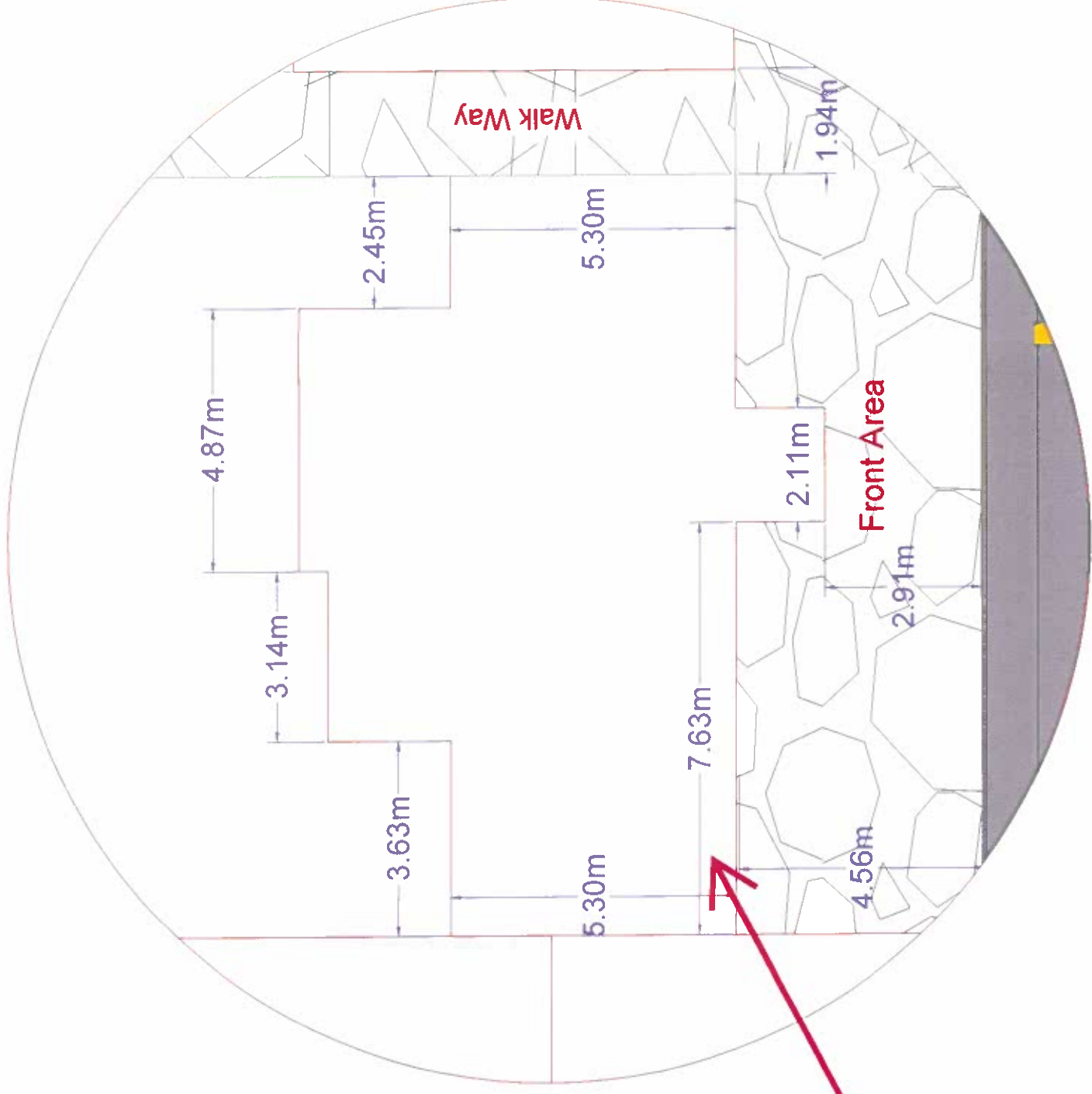
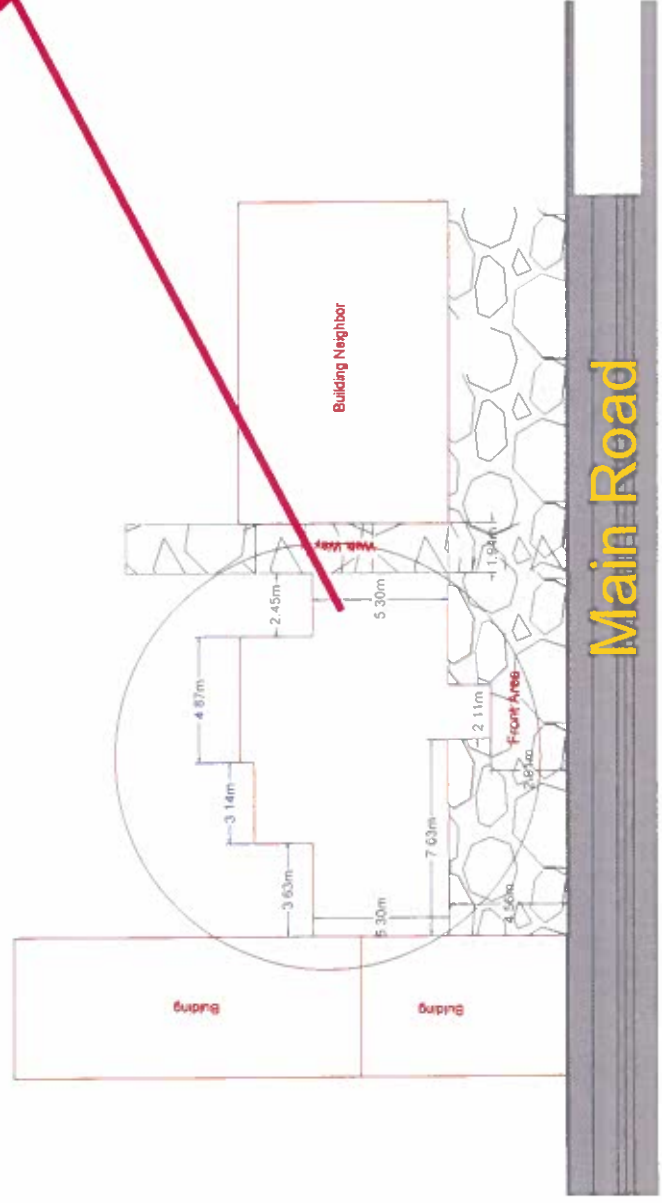
- removal of overgrowth
- cleaning
- repair of any cracked or damaged ground necessary for safety
- no excavation / digging/ removal of ground

**Site Clearance Front**

- removal of overgrowth
- cleaning
- repair of any cracked or damaged ground necessary for safety
- no excavation / digging/ removal of ground



**Building that Needs  
Renovation**

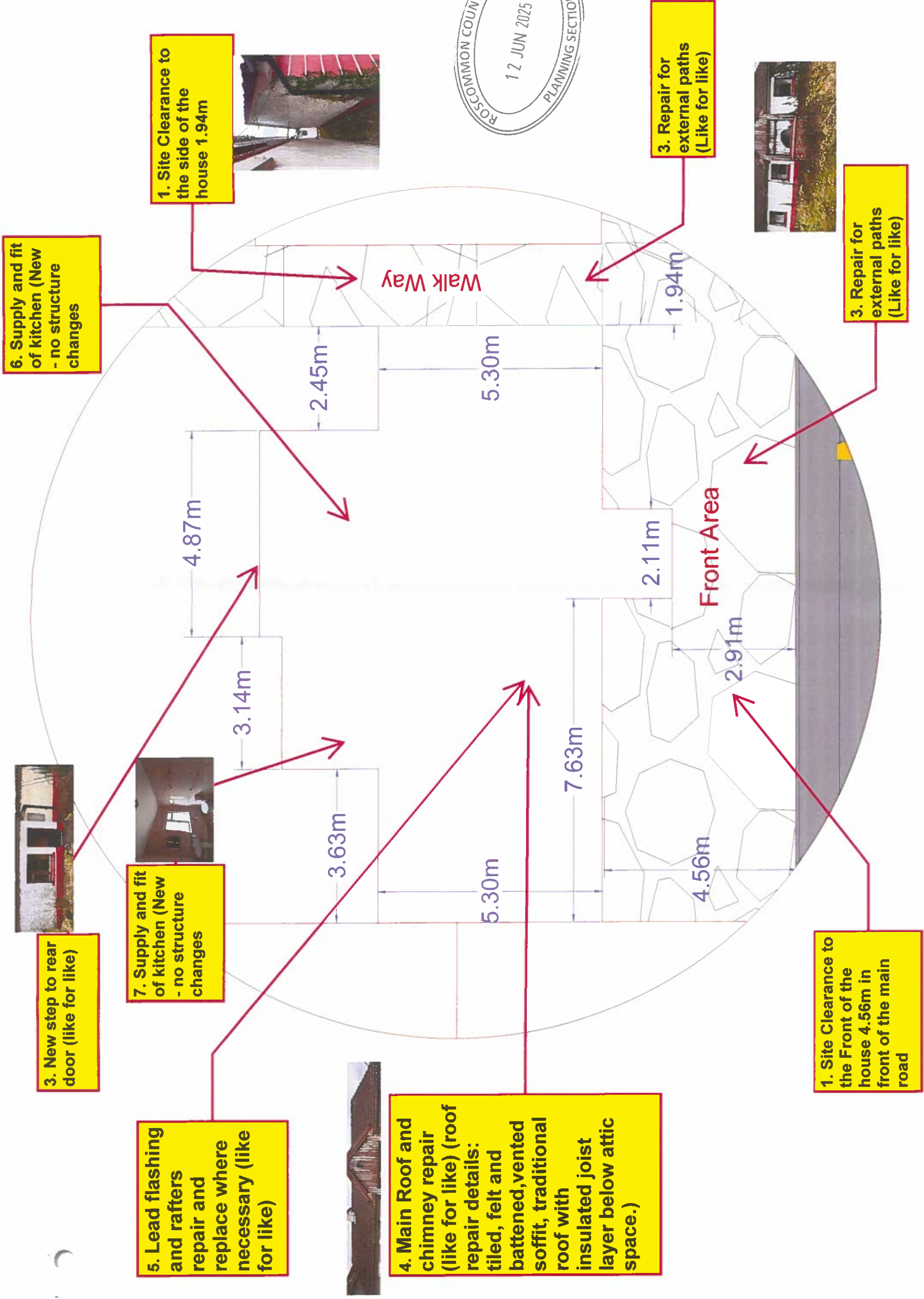
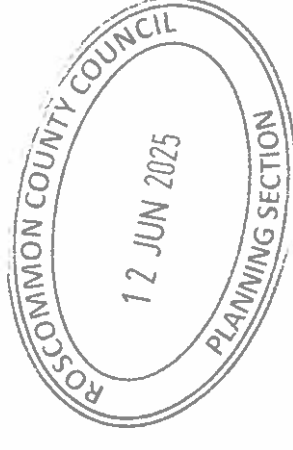




# RENOVATION WORKS

1. Site Clearance to rear and side of house for access
2. New external French drain to replace current drain (like for like)
3. Repair of external paths (like for like)
3. New step to rear door (like for like)
4. Main Roof and chimney repair (like for like) (roof repair details: tiled, felt and battened, vented soffit, traditional roof with insulated joist layer below attic space.)
5. Lead flashing and rafters repair and replace where necessary (like for like)
6. Supply & Fit of Kitchen (New – no structural changes)
7. Supply & Fit Bathroom (New – no structural changes)
8. Replacement front and rear external doors (like for like)
9. Replacement Internal doors/ frames and architrave
10. Skirting, trims and panelling repair
11. Fascia Soffit and rainwater fixtures replace (like for like)
12. Painting & Decorating internal
13. Painting/decorating external (like for like)
14. External Flat Roof repair and resurface as follows: Vented Joists, earth wool insulated, plywood and EPDM (Firestone membrane) finish. Slightly sloped with pressed metal flashings.
15. New tiling in wet room
16. New flooring throughout
17. Ventilation upgrades to each room (including addition of “smart-vent”. No structural changes or new cut-outs required)
18. Boiler upgrade





5. Lead flashing and rafters and repair where necessary (like for like)

4. Main Roof and chimney repair (like for like) (roof repair details: tiled, felt and battened, vented soffit, traditional roof with insulated joist layer below attic space.)

7. Supply and fit of kitchen (New - no structure changes)

3. New step to rear door (like for like)

6. Supply and fit of kitchen (New - no structure changes)

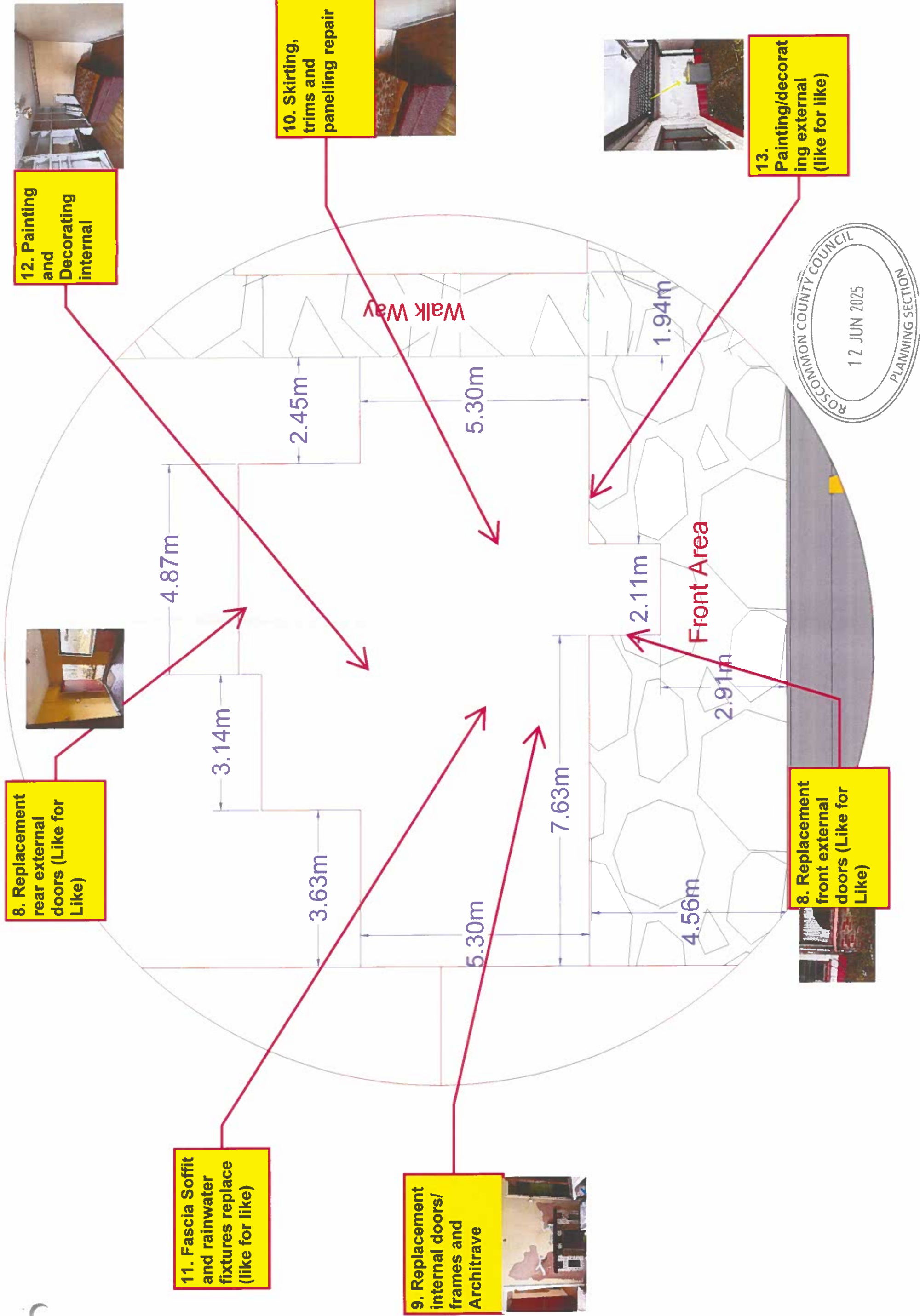
1. Site Clearance to the side of the house 1.94m

3. Repair for external paths (Like for like)

3. Repair for external paths (Like for like)

1. Site Clearance to the Front of the house 4.56m in front of the main road





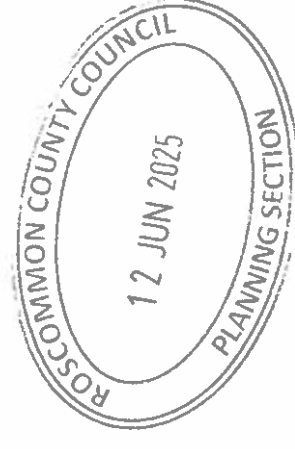
17. Ventilation upgrades to each room (including addition of "smart-vent". No structural changes or new cut-outs required)

16. New flooring throughout

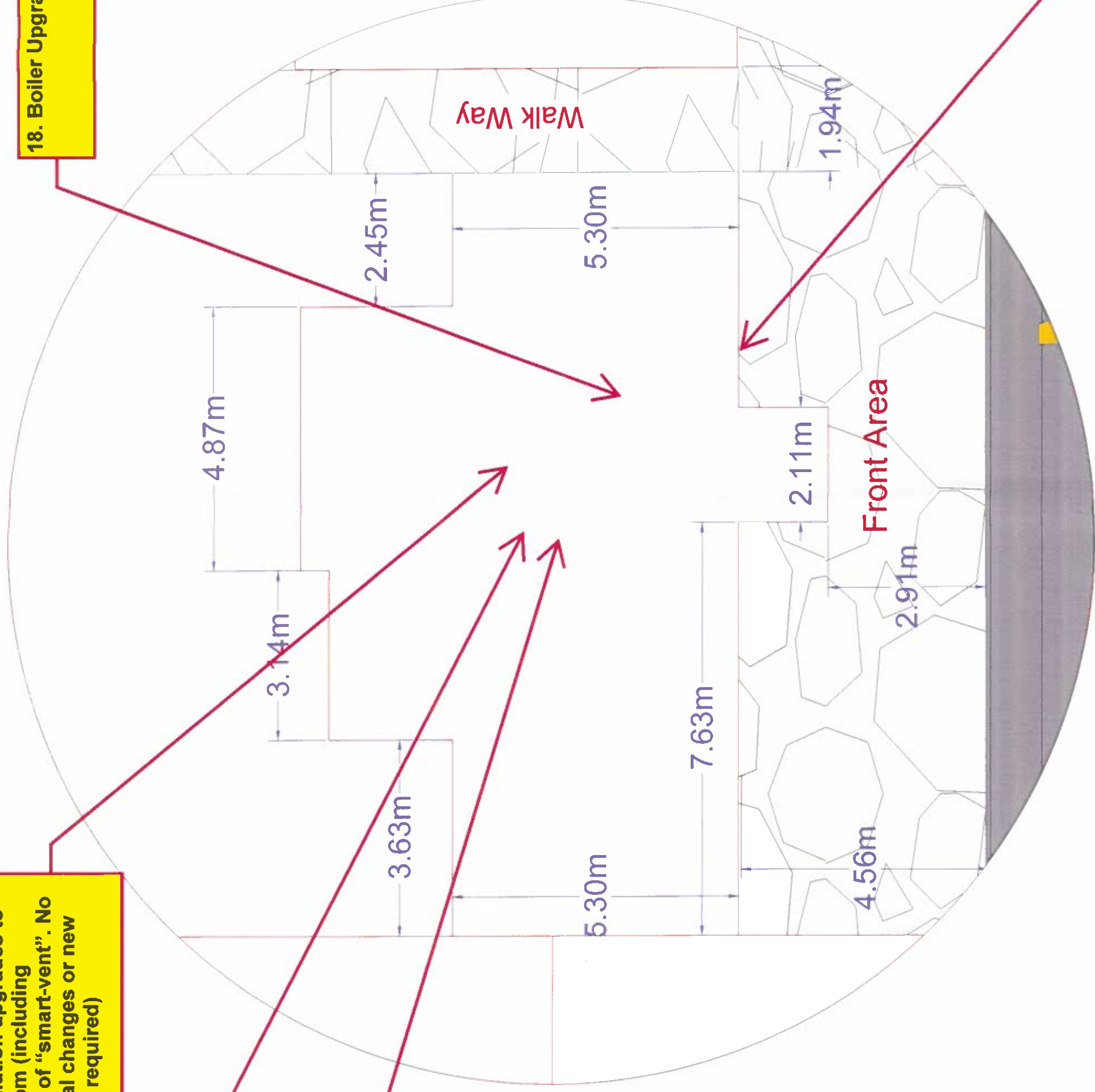
15. New tiling in wet room



18. Boiler Upgrade



14. External Flat Roof repair and resurface as follows: Vented Joists, earth wool insulated, plywood and EPDM (Firestone membrane) finish. Slightly sloped with pressed metal flashings.



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# **BUILDING CONDITION ASSESSMENT**

## **DWELLING HOUSE AT**

Foxwood,  
Kilmore,  
Carrick-on-Shannon,  
Co. Roscommon.  
N41TC79.

Surveyor: Dylan Earle

Engineer: James Lohan

Client: Ned Mulready

Date: 12<sup>th</sup> February 2025

Our Ref: 25-060



**CONTENTS PAGE:**



- (1.0) Introduction**
- (2.0) Description**
- (3.0) Construction and Condition**
- (4.0) Services**
- (5.0) Environmental and Other Issues**
- (6.0) Survey**
- (7.0) Engineers Overall Assessment**



## **1.0 INTRODUCTION**

### **1.01 Scope of Instructions**

We were commissioned by Ned Mulready property owner, to attend a site that contains a bungalow house and undertake a visual inspection. Specifically, we were asked to comment upon the following:

- Structure and state of the dwelling house
- Boundaries

This report is for the private and confidential use of Ned Mulready property owner for whom the report is undertaken and should not be reproduced in whole or part or relied upon by third parties without the express written authority of James Lohan Consulting Engineer Ltd.

No tests/survey were carried out on electrical, plumbing, sanitary, or heating installations.

### **1.02 Date of Inspection**

The property was inspected by Dylan Earle on the 12<sup>th</sup> February 2015

### **1.03 Weather**

The weather at the time of the inspection was mild and dry.



#### **1.04 Limitations of Inspection**

The contents of this report are strictly confined to comments concerning those terms outlined in the clients brief above.

The report should not be construed as a valuation or home buyers report and is not an inventory of every single defect, some of which would not significantly affect the use of the property. If the report does refer to some minor defects, this does not imply that the building is free from other such defects. We did not expose any other part of the structure that was covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

We have not inspected the ground floor slab or foundations. The following is not intended to be an exhaustive list of minor defects and any purely significant structural defects apparent from a visual inspection will be addressed. Further defects may be encountered upon more extensive investigation, involving exposure of structural elements etc.



## **2.0 DESCRIPTION**

### **2.01 Orientation**

For ease of reference in the report the front of the property faces east.

### **2.02 Type and Age**

The property comprises a detached bungalow house which was constructed circa 1960s.

### **2.03 Accommodation**

The accommodation is as follows:

Traditional 2 bed with a kitchen and living space, Bathroom.

Outside: Driveway to the right elevation following to a small garden to the rear as well as outbuildings. Front of house located relatively close to the road.

### **2.04 Location**

On a medium size site off a local road.

### **2.05 Site and Surrounding Area**

The site is a flat landscape. The geological survey map indicates that the subsoil is of a gleys. However, because of the scale of the map and localized variations I was unable to confirm that the subsoil under the property is of this type.



### **3.0 CONSTRUCTION AND CONDITION**

#### **3.01 Main Roof**

The main roof is a cut timber roof which is in fair condition.

It is recommended for some structural remediation timbers to be added to the main roof and structure to make this structure safe, the spans existing are seen as excessive. Timbers should also be replaced where moisture has compromised the integrity of the timbers. Felt layer needs attention as it is poor in some areas.

#### **3.02 Other Roofs**

Flat roof on the rear of the property in poor condition. This will need to be replaced during the process of renovation and replaced with a warm deck system, Water proofing layer on this is seen as end of life.

#### **3.03 Chimney Stacks**

There are two chimneys in the house, both in fair condition, works will be required to flashings and both flues. Cracks evident on the face of the living room chimney, soot is seen seeping through the cracks. Discussed with client regarding demolishing chimneys.

#### **3.04 Foundations and External Walls**

I was unable to inspect the foundations but due to age of house would doubt that they are present. External walls at the front are stone and mass concrete at the back of the house, they are of the original build. Walls are internally dry-lined, however board is in poor condition due to dampness. It is recommended to replace in entirety.

#### **3.05 Damp Proof Courses**

There was no damp-proof course fitted in this property, there will need to be a DPC and a radon barrier fitted when renovations are been undertaken.



### **3.06 Internal Walls and Partitions**

Internal walls are both 100mm solid and a stud partition with a skim finish, there are a few settlement cracks evident, these can be patched and repaired however damp noticed at low levels will need some damp proofing works.

### **3.07 Fireplaces and Chimney Breasts**

A detailed inspection of the flues was not possible. It is generally impossible to establish, from a visual inspection, whether fireplaces or flues function satisfactorily or are subject to problems. Factors such as wind strength and direction can create problems. Specialist tests and investigations would be necessary to confirm that problems do not exist under any circumstances. Suspected damage to flue due to soot staining on chimney breast in attic space.

### **3.08 Floors**

There is a solid concrete floor with various finishes throughout. There is rising damp, and the floors should be stripped and replaced, it is recommended to add a radon membrane and DPM should be placed below an insulation and screed.

### **3.09 Ceilings**

The ceilings are timber ceiling joists with plasterboard and skim finish and need repairs. An excessive leak is shown in the kitchen with mould present as well as water staining, it would be recommended while renovations are taking place to upgrade these ceilings.

### **3.10 Windows, Doors**

The windows and doors are single glazed-timber frame windows and are in fair condition commensurate with their age. However, it is recommended that the windows are to be replaced for energy efficiency.



## **4.0 SERVICES**

### **4.01 General**

The inspection of the service installations was of a superficial nature and no tests have been arranged. These should be carried out by appropriate specialists if assurance as to the condition or capability is required.

### **4.02 Electrics**

Electrics are dated and rewire is recommended to be carried out.

### **4.03 Heating**

Oil central heating system present in the dwelling hasn't been active in several years it would be recommended to upgrade the heating system.



## **5.00 ENVIRONMENTAL AND OTHER ISSUES**

### **5.01 Thermal Insulation**

Walls And attic spaces will need to be reinsulated, there are grants available for this work, recommended as discussed with client about internally drylining the property.

### **5.02 Ventilation**

There is no ventilation present in the property. It would be recommended to fit or make provisions for wall/window vents and mechanical vents in wet areas.

### **5.03 Condensation**

Condensation is a problem found, to varying degrees, in most homes. It is the result of relatively high levels of moisture in the atmosphere of the rooms forming as water droplets on cold surfaces as the temperature falls. It tends to be most severe in properties that are poorly insulated, where temperatures fluctuate, and high levels of water vapour are produced. Condensation problems will vary according to living conditions. It is relatively simple to eliminate and can normally be minimized by good insulation, constant heat and adequate ventilation.

### **5.04 Services**

The house has a mains water connection that is currently turned off and has its own septic tank which is located across the local road to the front elevation of the property. There is a right of way for maintenance purposes, however the land is not in the owner's name.

### **5.05 Boundaries**

The property is registered on [REDACTED] and the boundaries on Land Direct will need modification to match the on the ground boundaries.





## **7.00 ENGINEERS'S OVERALL ASSESSMENT**

### **7.01 Summary of Defects**

For ease of reference, I set out below a list of the main points mentioned in the report.

- 1) Damp noticed on low levels recommended to strip out finishes and replace with a ventilated stud.
- 2) The roof timbers are in fair condition, and it would be recommended to add some structural remediation timbers as some centres are seen as excessive.
- 3) Works to felt recommended as felt layer is poor in some areas.
- 4) Leak in flue to be remediated as evidence is seen in both the attic space and living area.
- 5) Leak in flat roof section to rear. It would be recommended to be replaced.
- 6) Floors to be replaced insulation and screed to be considered.
- 7) All internal completions required to be striped as finishes are in poor condition throughout.
- 8) Rewire recommended to upgrade electrics.
- 9) Upgrades to heating system. Boiler seen as end of life.
- 10) Upgrades to all windows and doors to achieve better U-Value.
- 11) Insulation works to be carried out to improve BER rating.

### **7.02 Engineers' Overall Opinion & Recommendations**

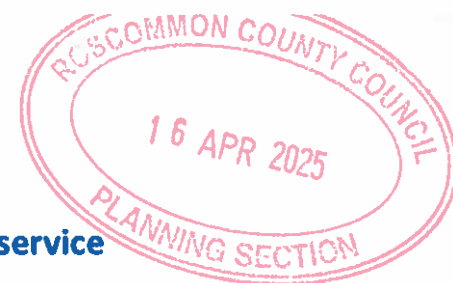
Based on visual inspection of the dwelling we comment as follows: The dwelling is currently derelict. The items listed above should be completed to make the house habitual.

Signed: Dylan Earle

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James Lohan BEng MIEI

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## **APPENDIX A: Limitations Applying to Our Professional service**

### **LIMITATIONS APPLICABLE TO PRE-ACQUISITION INSPECTIONS AND REPORTS**

#### **1. Concealed Parts**

If we observe evidence to suggest that concealed parts of the structure and fabric might be defective, we will advise you accordingly and make recommendations for further investigations. However, unless otherwise instructed by you, we will not open-up for inspection any permanently enclosed or concealed parts of the structure and fabric. Thus, as the inspection was visual and superficial only, no account could be taken of any work covered up or in inaccessible areas. It should be further noted that the author of this report did not supervise the construction of the above premises, and no account could be taken of any structural detail or elements concealed within the premises/construction.

#### **2. Deleterious and Hazardous Materials**

We will advise you if we consider that there exists a significant possibility that deleterious or hazardous materials, as per Appendix B, exist at the property. Unless otherwise instructed, we will not undertake, or commission, inspections or laboratory tests to confirm the extent and precise nature of any deleterious and hazardous materials that might be present.

#### **3. Services Installations**

Our report on the services installations will be based on a cursory inspection only to include a general description. We will not test any of the installations. Unless otherwise instructed, we will not commission the inspection and testing of any installations by specialist consulting engineers. The complete electrical and mechanical system within the structure should be checked by a suitable qualified contractor to make sure they meet current standards.

A specialist inspection of the drainage system comprising hydrostatic testing and CCTV survey should be undertaken. This is recommended on all property purchases due to the risks to founding soils associated with defective drainage systems. Environmental investigation and appraisal is excluded.

#### **4. Building Occupancy**

Access to some areas could be restricted or denied. If we find that our inspection has been excessively limited, we will advise you accordingly and seek your further instructions. Our report will list any significant internal and external areas that we are unable to inspect.

#### **5. Land Contamination**

We will not make any formal enquiries or carry out investigations into the potential contamination of the site or neighbouring land. If, after our inspection, we consider that further detailed investigation is appropriate, we will inform you accordingly.

#### **6. Compliance with Legislation**

Our inspection will involve a general review of the state of compliance with statutory



requirements such as the Building Regulations, Workplace Regulations, Fire Regulations and the Equal Status Act. However, compliance with these regulations often requires a more detailed study and involves the preparation of a detailed risk assessment. Such studies and risk assessments are beyond the scope of the type of inspection and report proposed.

## **7. Liability and Confidentiality**

Our building inspection report may be relied upon by the client only and is to whom we owe a duty of care. Our report must not be passed for information, or for any other purpose, to any third party without our prior written consent, which consent will not be unreasonably withheld or delayed. Such consent shall not entitle the third party to place any reliance on the report and shall not confer on any third party any benefit or right.

As set out in the Conditions of Engagement Agreement RA 9101 to which this contract relates, the liability of the consulting engineer under or in connection with this Agreement whether in contract or in tort, in negligence, for breach of statutory duty or otherwise (other than in respect of personal injury or death) shall be limited. In the absence of such an agreement, such sum shall be deemed to be €635,000 or ten times the total fee under this Agreement, whichever is lesser. The said limit shall be in respect of a single act, omission or statement, other than with regards to claims in respect to pollution or contamination where the said limit shall be an annual aggregate limit. In regard to pollution or contamination liability as determined by the aggregate or balance thereof shall be further limited to the lesser of (i) the direct costs reasonable incurred by the Client in cleaning up the site of the project or the Works as the case may be or any part thereof or (ii) the amount, if any, recoverable by the Consulting Engineer under any professional indemnity insurance policy taken out by the Consulting Engineer.

The liability of the Consulting Engineer to the Client expires after the expiration of such period of time as is stated in the Agreement from the issue of the certificate of Practical Completion to the Contractor or, where there is no such certificate, from the issue of such other record stating or indicating that the Works are substantially complete unless in the mean time the Client has made claim in writing upon the Consulting Engineer, specifying the negligent act, omission or statement said to have caused the alleged loss or damage sustained or sustainable. If no such period of time is stated elsewhere in the agreement it shall be deemed to be 6 years.

## **8. Cracks, Settlement and Subsidence**

This report is the result of a survey carried out in one visit. Monitoring of crack movement was not part of the initial brief; hence it was not possible to determine if cracks, where they exist, are live. The structure was not monitored for settlement.

## **9. Wet & Dry Rot**

The exterior of the premises, including roof coverings was inspected from ground level only. No responsibility is accepted for conclusions drawn in respect of the presence or absence of dry rot, wet rot, woodworm and or beetle infestation in timbers or any other materials in the structure. A specialist firm should be engaged to address these issues, which may well involve opening works, permission for which would have to be provided by the vendors/building owners.



## APPENDIX B: Deleterious Materials

Since the early 1980s the property and construction industry has evolved and adopted a list of materials, which, for one reason or another, have been labelled deleterious and/or hazardous to health and safety. Some of these materials only become deleterious and hazardous due to the particular circumstances of their use and are not inherently deleterious or hazardous in themselves. Materials that have been branded “deleterious” have usually been so classed because they are either:

- (a) pose a direct risk to the health and safety of persons occupying or visiting a particular property (e.g. asbestos) or
- (b) can be detrimental to the structural performance of a building (e.g. High Alumina Cement in concrete) or
- (c) are generally perceived by the property investment market as undesirable features of a building, which can affect the liquidity of the property concerned (e.g. calcium silicate bricks) or, in the case of composite panels, its insurability.

Some deleterious materials might fall into more than one of the forgoing three categories above. Few of the deleterious materials given below can be detected with the naked eye alone. Sampling and testing of a component or element is required to confirm the presence, or absence of a material. As the inspection was visual and superficial only, no account could be taken of the existence of deleterious material within the structure.

At present, the list of deleterious and problematic materials comprises the following:

- Pyrite.
- Composite Cladding Panels to roofs and walls.
- Nickel Sulphide inclusions in toughened glazing.
- High Alumina Cement (HAC) when used in load-bearing concrete components and elements.
- Chloride additives when used in pre-cast or in situ cast concrete.
- Calcium Silicate Bricks or Tiles (also known as sand/lime or flint/lime bricks).
- Mundic Blocks and Mundic Concrete.
- Woodwool slabs when used as permanent shuttering to in situ cast structural concrete.
- Lead based in paint when the paint concerned could be used in locations that could result in the ingestion, inhalation or absorption of the material.
- Lead used for drinking water pipe work except when used as solder to pipe fittings.
- Sea dredged aggregates or other aggregates for use in reinforced concrete which do not comply with British Standard 882: 1992 and aggregates for use in concrete which do not comply with the provisions of British Standard Specification 8110: 1985.
- Asbestos in any raw form or asbestos based products.
- Manmade mineral fibres in materials when these fibres are loose and have a diameter of 3 microns or less and a length of between 5 and 100 microns.
- Urea Formaldehyde Foam



# NED MULREADY

---

Kilmore

Wednesday 12 February 2025

Prepared For

29 Photos Identified



#### 6.01

Location Front Elevation

External walls in good structural condition. Roofing structure in good condition. Works to be completed to flashings, staining evident.



#### 6.02

Location Rear Elevation.

External walls in good structural condition. Roofing structure in good condition. Works to be completed to flashings, staining evident.





**6.03**

Location Right Elevation

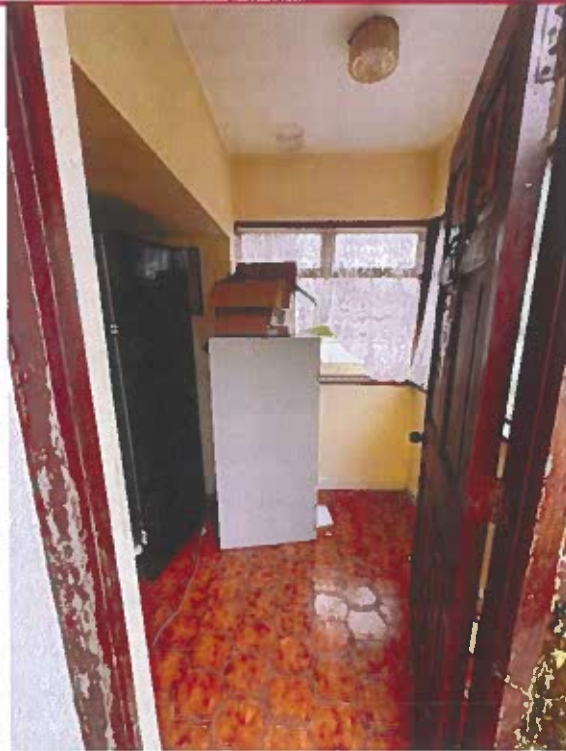
External walls in good structural condition. Roofing structure in good condition. Works to be completed to flashings, staining evident.



**6.04**

Location Left Elevation

External walls in good structural condition. Roofing structure in good condition. Works to be completed to flashings, staining evident.



**6.05**

Location Entrance Hallway

All finishes in poor condition.

Recommended to be gutted. All Internal completions required.

Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



**6.06**

Location Living Room

All finishes in poor condition.

Recommended to be gutted. All Internal completions required.

Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.





**6.07**

Location Living Room

All finishes in poor condition.

Recommended to be gutted. All

Internal completions required.

Leaks and mould present

throughout the property. Damp

proofing works required to make

this property habitable.



**6.08**

Location Bedroom 1

All finishes in poor condition.

Recommended to be gutted. All

Internal completions required.

Leaks and mould present

throughout the property. Damp

proofing works required to make

this property habitable.



**6.09**

Location Bedroom 1

All finishes in poor condition. Recommended to be gutted. All Internal completions required. Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



**6.10**

Location Hallway

All finishes in poor condition. Recommended to be gutted. All Internal completions required. Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



#### 6.11

Location Hot Press

All finishes in poor condition.

Recommended to be gutted. All

Internal completions required.

Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



#### 6.12

Location Kitchen

All finishes in poor condition.

Recommended to be gutted. All

Internal completions required.

Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



#### 6.13

Location Kitchen

All finishes in poor condition. Recommended to be gutted. All Internal completions required. Leaks and mould present throughout the property. Damp proofing works required to make this property habitable.



#### 6.14

Location Bathroom

Settlement cracking noted, various finishes throughout property, All in poor condition. Recommended to be gutted. All Internal completions required. No provisions for ventilation.





**6.15**

Location Bedroom 2

All finishes in poor condition.  
Recommended to be gutted. All  
Internal completions required.  
Leaks and mould present  
throughout the property. Damp  
proofing works required to make  
this property habitable. Have boiler  
serviced



**6.16**

Location Bedroom 2

All finishes in poor condition.  
Recommended to be gutted. All  
Internal completions required.  
Leaks and mould present  
throughout the property. Damp  
proofing works required to make  
this property habitable.





#### 6.17

Location Rising Damp

All finishes in poor condition.

Recommended to be gutted. All

Internal completions required.

Leaks and mould present

throughout the property. Damp

proofing works required to make

this property habitable.



#### 6.18

Location Attic Space

Roof well covered with tiles felt

layer needs attention due to

coverage. Felt layer deteriorated

over time. Flashings suspected to

be allowing water into roof

structure. Water tank in attic space

to be insulated. Attic space overall

recommended to be fully insulated

with 400mm minimum Rockwool.



#### 6.19

Location Attic Space

Roof well covered with tiles felt layer needs attention due to coverage. Felt layer deteriorated over time. Flashings suspected to be allowing water into roof structure. Water tank in attic space to be insulated. Attic space overall recommended to be fully insulated with 400mm minimum Rockwool.



#### 6.20

Location Attic Space

Roof well covered with tiles felt layer needs attention due to coverage. Felt layer deteriorated over time. Flashings suspected to be allowing water into roof structure. Water tank in attic space to be insulated. Attic space overall recommended to be fully insulated with 400mm minimum Rockwool.



#### 6.21

Location Attic Space

Roof well covered with tiles felt layer needs attention due to coverage. Felt layer deteriorated over time. Flashings suspected to be allowing water into roof structure. Water tank in attic space to be insulated. Attic space overall recommended to be fully insulated with 400mm minimum Rockwool.



#### 6.22

Location Boiler To Rear

Recommend to have system upgraded. Recommend to have tank and boiler min 1.8 M apart. System has been inactive for a number of years.





**6.23**

Location Septic Tank Rodding Point



**6.0 24**

Location Septic Tank Location  
Estimated location. Unable to find  
covers. Client has registration  
papers from 2014.



**6.0 25**

Location Flat Roof To Rear

Finished flat room in extremely poor condition. Recommended to completely strip and replace with warm deck system.



**6.0 26**

Location Flat Roof To Rear

Finished flat room in extremely poor condition. Recommended to completely strip and replace with warm deck system.



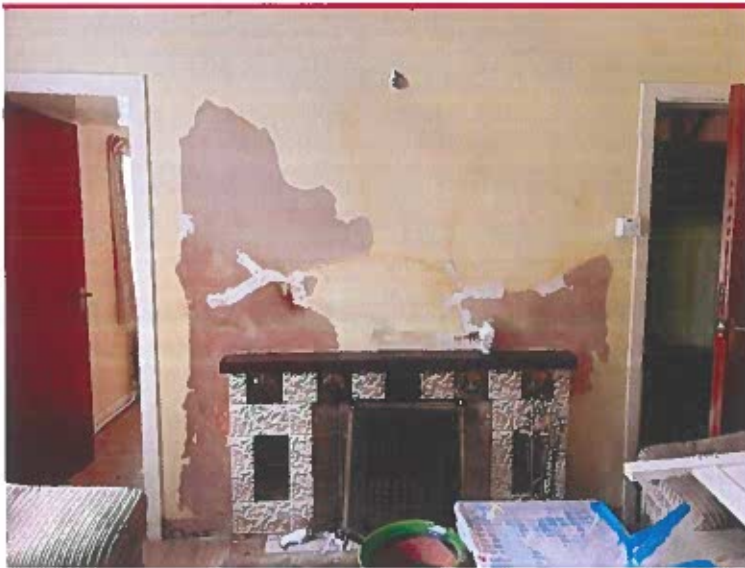


**6.0 27**

Location Floor To Hot Press

Recommend to strip floor finishes.

And replace with an insulated screed.



**6.0 28**

Location Chimney Breast

Filled cracks in chimney. Sut appearing on face of chimney through cracks. Discussed with client about demolishing chimney in entirety.



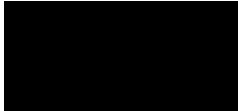
**6.0 29**

Location Chimney Breast

Filled cracks in chimney. Sut  
appearing on face of chimney  
through cracks. Discussed with  
client about demolishing chimney in  
entirety.



Sean Ned Mulready



## CERTIFICATE OF REGISTRATION

Reference ID:



Registration number	
Date of registration:	05/06/2013
Registered to:	Sean Ned Mulready
Registered address:	Foxwood, Kilmore, Co. Roscommon
Water services authority:	Roscommon County Council

### Issued under the Water Services Act 2017.

This document certifies that the domestic wastewater treatment system connected to a property at the aforementioned address, and registered to the aforementioned owner, has been included on the Domestic Wastewater Treatment Systems register.

### Please retain this document.


- You may be requested to present this document to an authorised person appointed by the water services authority.
- When selling or transferring ownership of your property please provide a copy of this certificate to the new owner. The new owner will be responsible for notifying the water services authority above of the change in ownership. For more information on change of ownership please visit [www.protectourwater.ie](http://www.protectourwater.ie).

Sean Ned Mulready



## DEIMHNIÚ CLÁRÚCHÁIN

Tagairt ID: 

Uimhir chlárúcháin: 
Dáta clárúcháin: <b>05/06/2013</b>
Cláraithe chuig: <b>Sean Ned Mulready</b>
Seoladh cláraithe: <b>Foxwood, Kilmore, Co. Ros Comáin</b>
Údarás seirbhísí uisce: <b>Comhairle Contae Ros Comáin</b>

### Arna eisiúint den Acht um Sheirbhísí Uisce 2017.

Deimhnítear sa chaipéis seo gur cuireadh an córas cóireála fuíolluisce tí atá ceangailte le réadmhaoín ag an seoladh réamhluaite, agus atá cláraithe chuig an úinéir réamhluaite, ar an gclár um Chórais Cóireála Fuíolluisce Tís.

### Coinnigh an chaipéis seo le do thoil.

- D'fhéadfadh sé go n-iarrfaí ort é seo a thabhairt do dhuine údaithe arna cheapadh ag an údarás seirbhísí uisce.
- Nuair a dhíolann nó nuair a aistríonn tú úinéireacht do réadmhaoine tabhairt cóip den deimhniú seo le do thoil don úinéir úr. Beidh an t-úinéir úr freagrach as athruithe ar an úinéireacht a chur in iúl don údarás seirbhísí uisce. Níos mó eolas faoi athrú úinéara ar fáil ag [www.protectourwater.ie](http://www.protectourwater.ie).