

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Marie & Denis Monaghan,

Reference Number: DED 892
Application Received: 14th May, 2025
Name of Applicants: Marie & Denis Monaghan
Agent: Vincent Burke

WHEREAS a question has arisen as to whether the refurbishment of an existing dwelling, with works including; 1) internal refurbishment; 2) block up back door; 3) replace rear sitting room window with door & 4) knock & replace chimney at Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon, H53 K506, is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended.
- (c) Class 2 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended.
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site.

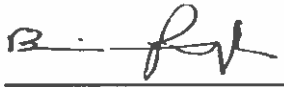
AND WHEREAS Roscommon County Council has concluded that:

- (a) The works outlined above are development.
- (b) The proposed demolition of the back porch of the dwelling as described in this case is an exempted development.
- (c) The proposed oil tank and boiler to the rear of the dwelling house as described in this case is an exempted development.
- (d) The proposed refurbishment of the existing dwelling as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:
development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;
- (e) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to refurbish an existing dwelling, with works including; 1) internal refurbishment; 2) block up back door; 3) replace rear sitting room window with door & 4) knock & replace chimney at Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon, H53 K506, is development that is **exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Brian Farragher,
Senior Executive Planner,
Planning.

Date: 11th July, 2025

cc agent via email: Vincent Burke
vburke@technologist.com

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

Carmel Curley

From: Carmel Curley
Sent: Monday 14 July 2025 12:42
To: [REDACTED]
Cc: Vincent Burke
Subject: DED892 - Notification of Decision
Attachments: DED892 - Notification of Decision.pdf

A Chara,

Please find attached Notification of Decision for your Section 5 Declaration of Exempted Development Application – DED 892.

Mise le meas,

Carmel

**Carmel Curley, Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98
☎: (090) 6637100**

✉: planning@roscommoncoco.ie | 🌐: www.roscommoncoco.ie

MAP LOCATION



**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

Reference Number:	DED 892
Re:	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development to refurbish an existing house, with works including 1)internal refurbishment; 2)block up back door; 3)replace rear sitting room window with door & 4)knock & replace chimney
Name of Applicant:	Marie & Denis Monaghan
Location of Development:	Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon. (H53 K5D6)
Site Visit:	01/07/2025

WHEREAS a question has arisen as to whether the following works; to refurbish an existing house, with works including 1)internal refurbishment; 2)block up back door; 3)replace rear sitting room window with door & 4)knock & replace chimney at the above address is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 2 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

Site Location & Development Description

The property is a single story dwelling house with a pitched roof. There is a garden area to the front and side of the property in Taughmaconnell, Ballinasloe, Co. Roscommon. The property is accessed off the L-7564 road. The proposed development consists of the refurbishment of the existing dwelling with works including the alterations to different doors and windows, knock and rebuild the chimney, demolition of existing porch, installation of an oil tank and boiler to the rear of the property as well as various other internal works.

There are no European designated sites in, adjoining or in close proximity to the subject site. There is no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS.

Archaeological and Cultural Heritage

No RMP recorded in the likely zone of influence of the development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the development.

Appropriate Assessment

The closest European sites to the site of the proposed development are Killeglan Grassland SAC (Site Code 002214) which is located circa 0.3km to the north and Suck River Callows NHA/SPA (Site Code 000222 /004097) which is located circa 1.5km to the northwest of the subject site.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

Planning History

As per the Roscommon County Council's Planning Registry, recent planning history traced to the site.

- 06/1373 – Retention for 3 no. existing chalets, laundry room and PERMISSION for proposed commercial extension to existing dwelling, change of existing front elevation, car parking, Bio treatment unit, percolation area and all associated site works - Conditional
- 04/1704 - To retain 6 no. existing single storey chalets, laundry room and glasshouse - WITHDRAWN

Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2. -(1)

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3. -(1)

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1) of the Act defines certain types of development as being ‘exempted development’. Of potential relevance is section 4(1)(h) which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 as amended

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9 (1) applies;

Development to which article 6 relates shall not be exempted development for the purposes of the Act

viiB) comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

Class 2 of Part 1 of Schedule 2: Exempted development - General

Description of Development	Conditions and Limitations
<i>CLASS 2</i> (a) The provision as part of a heating system of a house, of a chimney or flue, boiler house or fuel storage tank or structure.	The capacity of an oil storage tank shall not exceed 3,500 litres.

Class 50 of Part 1 of Schedule 2: Exempted development - General

Description of Development	Conditions and Limitations
<i>CLASS 50</i> (a) The demolition of a building, or buildings, within the curtilage of— (i) a house, (ii) an industrial building, (iii) a business premises, or (iv) a farmyard complex. (b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act.	<ol style="list-style-type: none">1. No such building or buildings shall abut on another building in separate ownership.2. The cumulative floor area of any such building, or buildings, shall not exceed: (a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and (b) in all other cases, 100 square metres.3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.

Assessment:

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said works constitute development, as defined in Section 3 of the said Act.

The proposal includes the refurbishment of the existing dwelling with works including the blocking up of the existing back door, the converting of an existing window to form a door to the rear, knocking and rebuilding of a chimney, as well as various other internal works. These works have been considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighboring structures. The proposed works are deemed an exempt development.

The proposed development includes the installation of an oil tank and oil burner to the rear of the property, with regard to the compliance with the conditions and limitations of Class 2 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. The proposed oil tank is less than 3500 litres in size.
2. Both the tank and burner are located to the rear of the property.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 2 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the installation of an oil tank and oil burner to the rear of the property as described in this case is considered an exempted development.

The proposed development of the demolition of the existing back porch to the rear of the property, with regard to the compliance with the conditions and limitations of Class 50 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. This area is not a standalone structure and therefore in ownership of the property.
2. Based on the review of documents provided the area for demolition which forms part of the dwelling house is less than 40m².

Having reviewed the existing works in the context of the Conditions and Limitations associated with Class 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the demolition of the existing back porch as described in this case is considered an exempted development.

With regard to Article 9 (1)(a) of the Planning and Development Regulations it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

WHEREAS a question has arisen as to refurbish an existing house, with works including 1)internal refurbishment; 2)block up back door; 3)replace rear sitting room window with door & 4)knock & replace chimney in Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon **is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –**

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 2 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

AND WHEREAS I have concluded that

- The works outlined above are development.
- The proposed demolition of the back porch of the dwelling as described in this case is an exempted development.
- The proposed oil tank and boiler to the rear of the dwelling house as described in this case is an exempted development.
- The proposed refurbishment of the existing dwelling as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

AND WHEREAS I have concluded that the said development for the refurbishment of an existing house, with works including 1)internal refurbishment; 2)block up back door; 3)replace rear sitting room window with door & 4)knock & replace chimney in Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon, is an exempted development. I recommend that a declaration to that effect should be issued to the applicant.

Signed: *San Murray*

Date: 8th July 2025

Civil Technician

Signed: 

Date: 8th July 2025

Senior Executive Planner









Comhairle Contae
Ros Comáin
Roscommon
County Council



Marie & Denis Monaghan,

Date: 20th May, 2025
Planning Reference: DED 892

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission to refurbish an existing house, with works including 1)internal refurbishment; 2)block up back door; 3)replace rear sitting room window with door & 4)knock & replace chimney under the Planning & Development Act (Exempted Development) regulations 2018 at Porteen & Ballyrevagh, Taughmaconnell, Ballinasloe, Co. Roscommon, H53 K506.

A Chara,

I wish to acknowledge receipt of the application which was received on the 14th May, 2025, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. L/01/0/234716 dated 15th May, 2025, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 892**
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell,
Senior Executive Planner,
Planning Department.

cc agent via email: Vincent Burke
vburke@technologist.com

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

15/05/2025 14:59:12

Receipt No : L01/0/234716

MARIE & DENIS MONAGHAN



EXEMPTED DEVELOPMENT

PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED092	

Total	80.00 EUR
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Tendered	
Cheque	80.00
95	

Change	0.00
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Issued By : Louis Carroll
From : Central Cash Office



Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the

Planning & Development Act 2000 (as amended), regarding Exempted Development

Name of Applicant	Marie + Denis Moraghan
Name of Agent	Vincent Burke
Nature of Proposed Works	Refurbishment of existing house. All works internal except: Block up back door, replace rear sitting room window with door, knock + replace chimney
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	Porteen & Bally rough Taughmacconnell Bullinastoe. Co. Roscommon H53 K506
Floor Area: a) Existing Structure b) Proposed Structure	a) 234 sq.m b) n/a
Height above ground level:	6.910m
Total area of private open space remaining after completion of this development	No change
Roofing Material (Slates, Tiles, other) (Specify)	Existing slates

Roscommon County Council

Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	No change
Is proposed works located at front/rear/side of existing house.	n/a
Has an application been made previously for this site	No
If yes give ref. number (include full details of existing extension, if any)	n/a
Existing use of land or structure	Existing Dwelling House
Proposed use of land or structure	Refurbish house Long Term to rent. Residential Rental
Distance of proposed building line from edge of roadway	No proposed building
Does the proposed development involve the provision of a piped water supply	Existing mains
Does the proposed development involve the provision of sanitary facilities	Existing septic tank

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature: Marie Loughan Denis Monaghan

Date: 14/04/2025



Note: This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



V M Burke N.D.C S (Arch);

Architectural Technologist.

Vincent Burke N.D.C.S (Arch).
Architectural Technologist.
Ballybaun,
Ballinamore Br.
Ballinasloe,
Co. Galway.
H53NW98.
M 086 66 85 306.
Email: vburke@technologist.com.

To Planning and Development section.
Roscommon Co. Council.
Aras on chontae,
Church Rd.
Roscommon.
F42 VR98.



**RE: Application for a Section 5 Exemption cert for Proposed
Refurbishment works to an Existing Dwelling
At Porteen and Ballyrevagh, Taughmaconnell, Co. Roscommon.
H53KS05.**

A Chara.

Dear Sir/Madam.

We enclose on behalf of our client, Denis and Marie Monaghan an application for a Section 5 Declaration to indicate that the works carried out at the above address are exempted development pursuant to Article 6 of the Planning and Development Regulations, 2001 as amended.

Documents enclosed are as follows:

1. Completed application form for a declaration under section 5 re; exempted development.
2. Proposed Refurbishment specification.
3. Site Location map in duplicate.
4. Site Layout map in duplicate.
5. Existing Plan in duplicate.
6. Existing Elevations in duplicate.
7. Proposed Plans in duplicate.
8. Proposed elevations in duplicate.

Project: Exemption cert

Date 08-05-2025

V M Burke N.D.C S (Arch);

Architectural Technologist.

Previous Planning ref : PP / 06 / 1373 Retention Permission Order dated 21.12.2006 for three no. chalets, Laundry room, permission for proposed commercial extension to existing dwelling, change of existing front elevation, car parking . bio Treatment unit, percolation area and all associated site works.

We are therefore of the opinion that the works come within the scope of the exemption development described at Class 1 of Part 1 of Schedule 2 of the Regulations 2001 as detailed on the attached documentation. and would welcome Roscommon Co. Council's declaration of same: -

Mise le meas.

Vincent Burke.

Vincent Burke N.D.C.S (Arch)



Project: Exemption cert

Date 08-05-2025

**SPECIFICATION OF REFURBISHMENT WORKS AND MATERIALS TO BE USED FOR
DWELLING AT PORTEEN & BALLYREVAGH, TAUGHMACONNELL, BALLINALSOE CO.
ROSCOMMON H53 K5D6**

Demolition:

Removal of all existing heating system, including all pipework, kitchen stove, oil boiler and associated items.

Remove defective chimney and defective rear porch/annex

Remove damaged roof timbers at gable ladder on original bungalow.

Rooms with damaged ceilings are to have their plasterboard ceilings removed.

Remove defective velux on bungalow (rear). All demolition waste to be disposed of by a registered waste management operator.

Groundworks:

Repair all drainage for the existing bathrooms to the sewer.

Repair AJ's as required. Traps generally shall be in polypropylene mounted immediately below the fitting and complying with BS 5572. All traps shall be accessible and provided with adequate facilities for cleaning, and where necessary shall be capable of being easily dismantled or removed.

All soil and waste pipes that needs to be repaired will be PVC pipe complying with BS 4514.

All pipework to be repaired as per standard guidelines and regulations.

Foul and storm systems inspected and any damage to be repaired. Blank caps and cleaning doors shall be provided at all branches and other locations where rodding access is necessary for cleaning or removal of blockages.

Repair footpaths, level of 56.45.

Roof:

Retain the existing roof structure and finish on the house.

Assess the existing roof for leaks or damage.

Assess the existing lead works, carrying out necessary repairs.

Attic floor: Retain existing joists. Install 200mm Isover space saver insulation and 100mm Isover Heatshield insulation.

Fit new 18mm OSB/2 floor for service access in the attic.

Treat for woodworm.

Strengthen the attic floor for the new water tank location.

Install new white PVC fascia and soffit on the existing roof, including eaves vent with fly mesh, where needed.

Install new white PVC gutters (min. 112mm dia.) and downpipes (82mm dia.) where needed.

Replace damaged ceilings with Gyproc 12.5mm plasterboard and minimum 3mm Gyproc skim finish, taping all joints.

Plumbing & Heating:

Install new high-efficiency Grant Vortex Condenser oil boiler located to rear of bungalow.



Place slim oil tank 650 litres at rear of bungalow
Install new cylinder, new radiators all rooms.
Allow for 2 zones for heating plus hot water.

Rewire:

Full rewire by RECI Certified Electrician (REG NO 2761), replacing existing electrical installation with a safe, modern, and compliant system, meeting current I.S. 10101: 2020 standards. Issue RECI certificate to ESB Networks.

External Walls, Windows, Doors, Roof:

Block up existing back door.
Replace sitting room back window with a new PVC/composite door with two glazed side panel.
Replace defective chimney with dummy chimney.
Paint all external side and rear walls.



**SPECIFICATION OF REFURBISHMENT WORKS AND MATERIALS TO BE USED FOR
DWELLING AT PORTEEN & BALLYREVAGH, TAUGHMACONNELL, BALLINALSOE CO.
ROSCOMMON H53 K5D6**

Demolition:

Removal of all existing heating system, including all pipework, kitchen stove, oil boiler and associated items.

Remove defective chimney and defective rear porch/annex

Remove damaged roof timbers at gable ladder on original bungalow.

Rooms with damaged ceilings are to have their plasterboard ceilings removed.

Remove defective velux on bungalow (rear). All demolition waste to be disposed of by a registered waste management operator.

Groundworks:

Repair all drainage for the existing bathrooms to the sewer.

Repair AJ's as required. Traps generally shall be in polypropylene mounted immediately below the fitting and complying with BS 5572. All traps shall be accessible and provided with adequate facilities for cleaning, and where necessary shall be capable of being easily dismantled or removed.

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Repair footpaths, level of 56.45.

Roof:

Retain the existing roof structure and finish on the house.

Assess the existing roof for leaks or damage.

Assess the existing lead works, carrying out necessary repairs.

Attic floor: Retain existing joists. Install 200mm Isover space saver insulation and 100mm Isover Heatshield insulation.

Fit new 18mm OSB/2 floor for service access in the attic.

Treat for woodworm.

Strengthen the attic floor for the new water tank location.

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Install new white PVC gutters (min. 112mm dia.) and downpipes (82mm dia.) where needed.

Replace damaged ceilings with Gyproc 12.5mm plasterboard and minimum 3mm Gyproc skim finish, taping all joints.

Plumbing & Heating:

Install new high-efficiency Grant Vortex Condenser oil boiler located to rear of bungalow.



Place slim oil tank 350 litres at rear of bungalow
Install new cylinder, new radiators all rooms.
Allow for 2 zones for heating plus hot water.

Rewire:

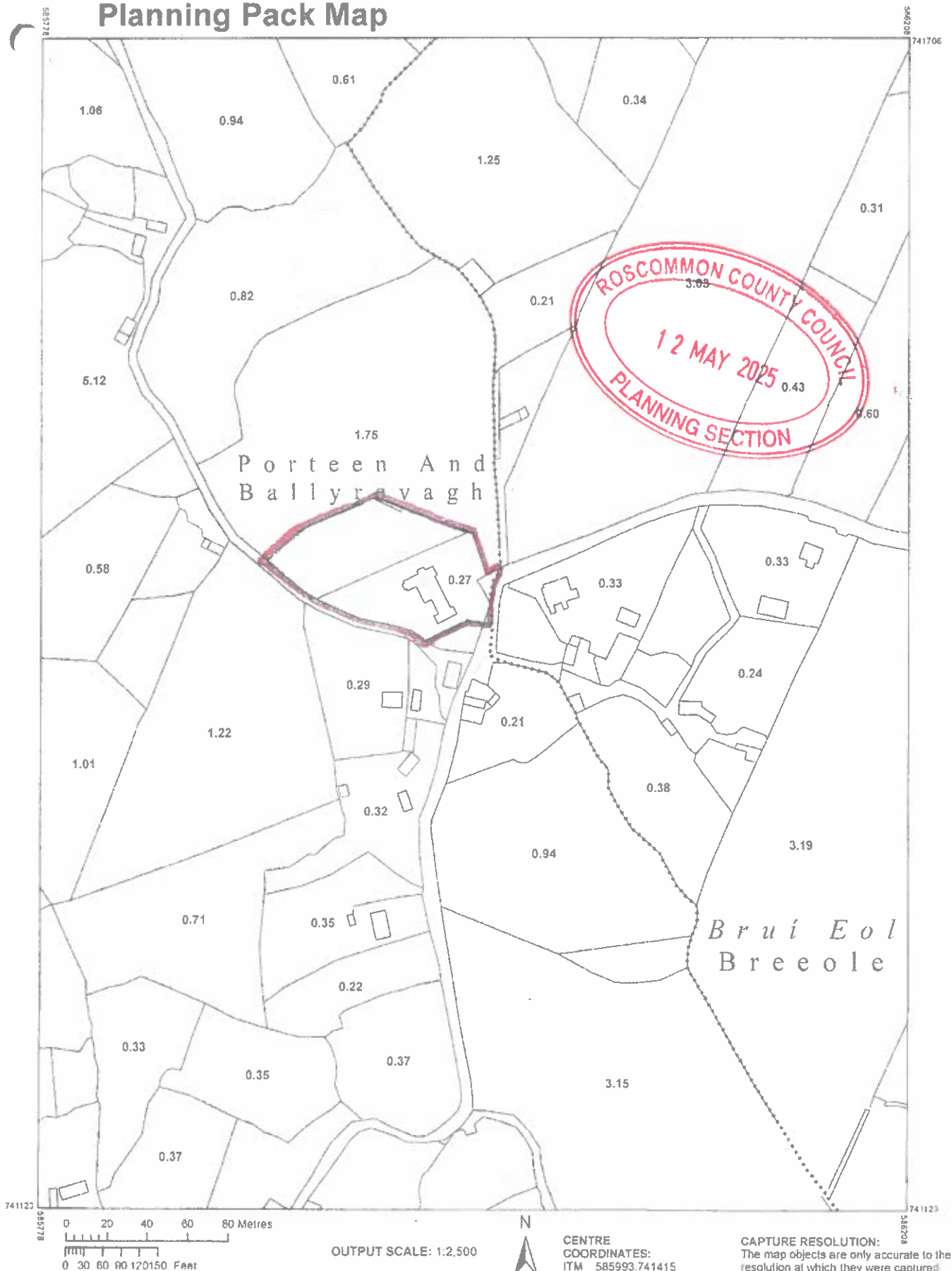
Full rewire by RECI Certified Electrician (REG NO 2761), replacing existing electrical installation with a safe, modern, and compliant system, meeting current I.S. 10101: 2020 standards. Issue RECI certificate to ESB Networks.

External Walls, Windows, Doors, Roof:

Block up existing back door.
Replace sitting room back window with a new PVC/composite door with two glazed side panel.
Replace defective chimney with dummy chimney.
Paint all external side and rear walls.



Planning Pack Map



COMPILED AND PUBLISHED BY:

Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

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CENTRE
COORDINATES:
ITM 585993,741415

PUBLISHED:
09/05/2025

MAP SERIES:
1:5,000

ORDER NO.:
50465532_1

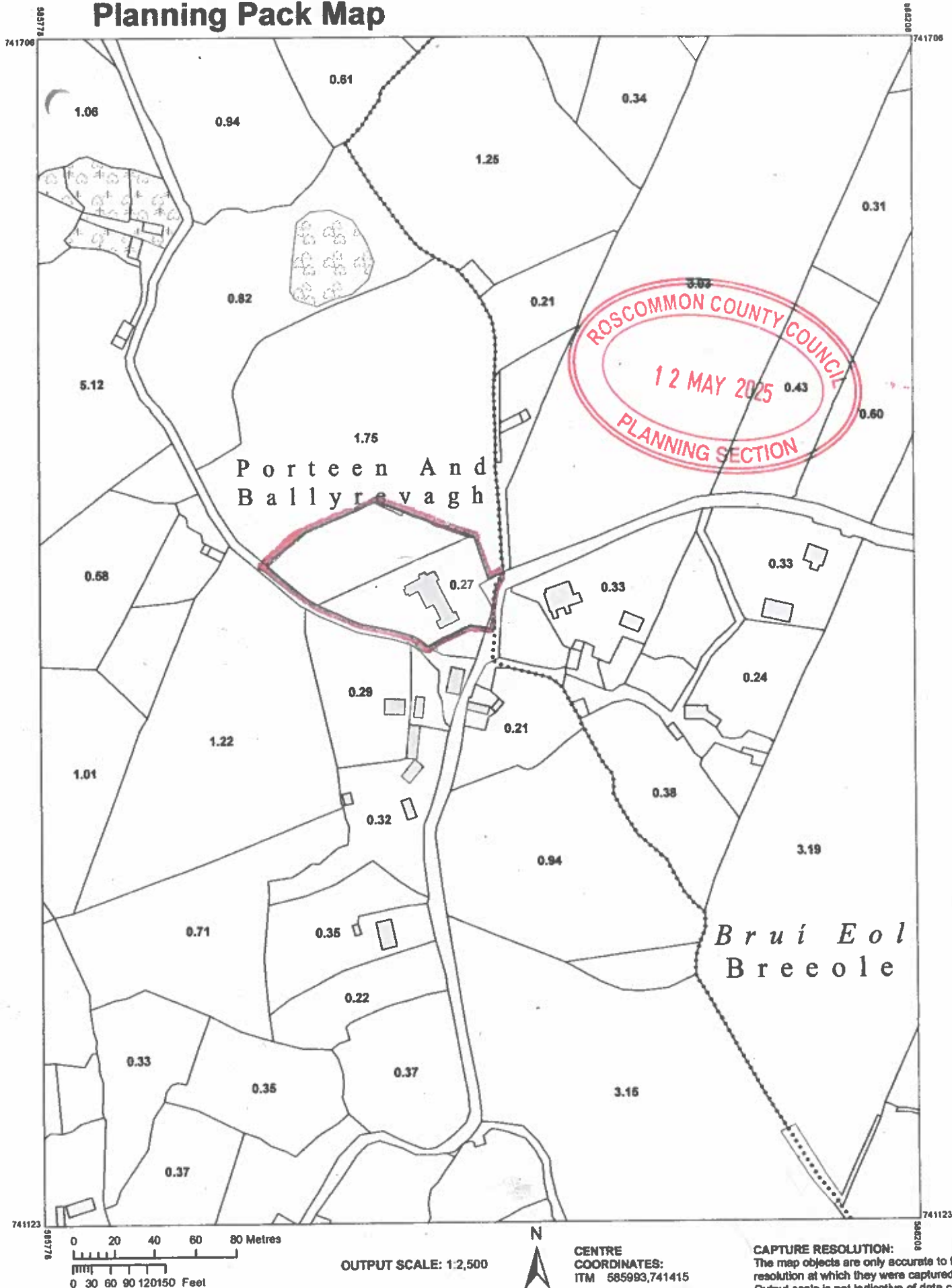
MAP SHEETS:
3031

CAPTURE RESOLUTION:

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LEGEND: To view the legend visit www.tailte.ie and search for 'Large Scale Legend'.



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OUTPUT SCALE: 1:2,500

CENTRE
COORDINATES:
ITM 585993,741415

PUBLISHED: 09/05/2025
MAP SERIES: 1:5,000
ORDER NO.: 50465532_1
MAP SHEETS: 3031

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LEGEND: To view the legend visit www.tailte.ie and search for 'Large Scale Legend'



Site Layout

Sheet No. 6

Part of O.S. Roscommon 50

Existing floor level = 56.60 m

Existing House for
Denis and Marie Monaghan at

Porteen & Ballyrevagh, Taughmaconnell,
Ballinasloe, Co. Roscommon.
Site outlined in red
Site area = 1.028 hectares

Surveyed *Terence Kelly*
Dysart, Ballinasloe,
Roscommon.

Scale 1:500
Date 05/04/25

Existing dwelling

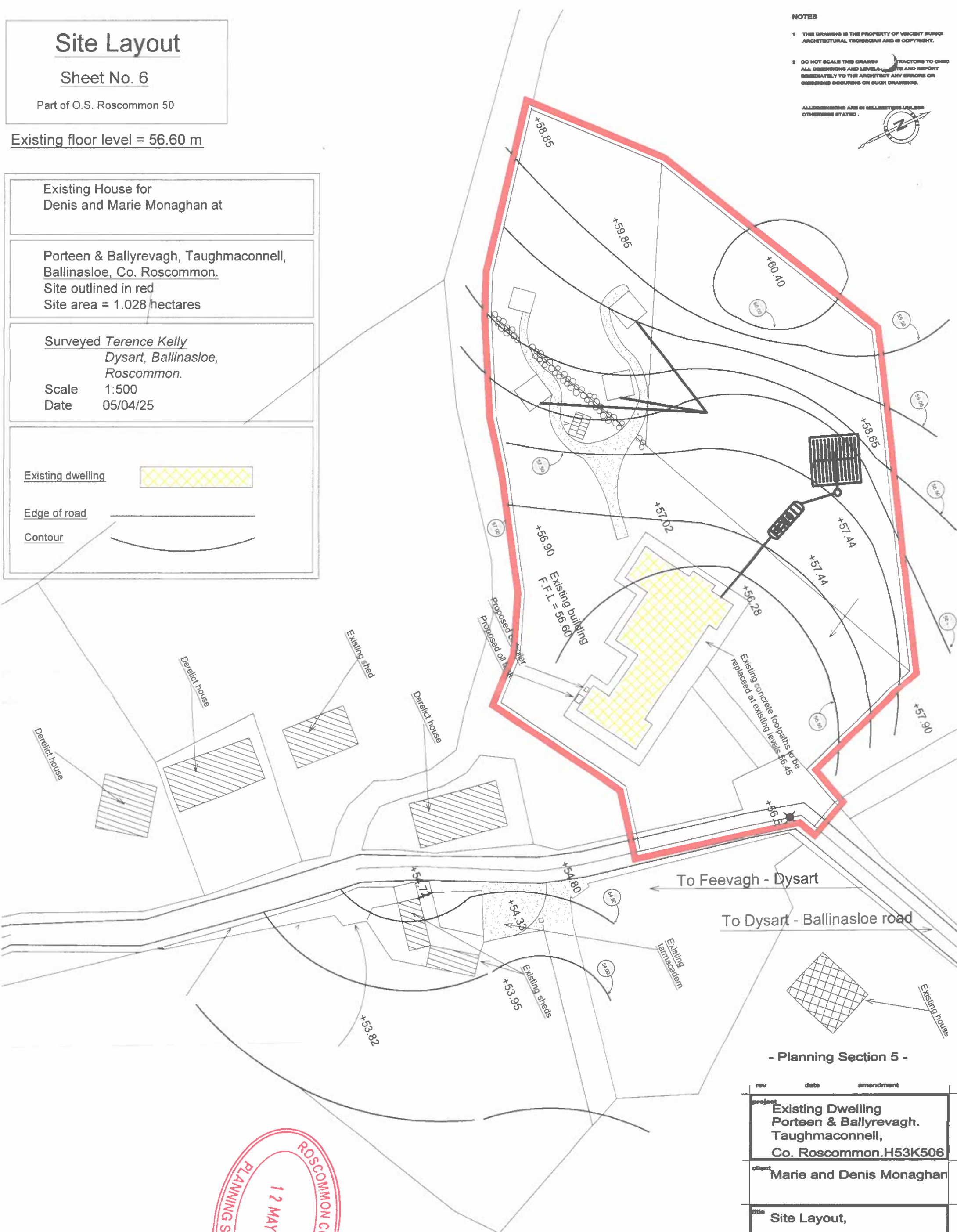
Edge of road

Contour

NOTES

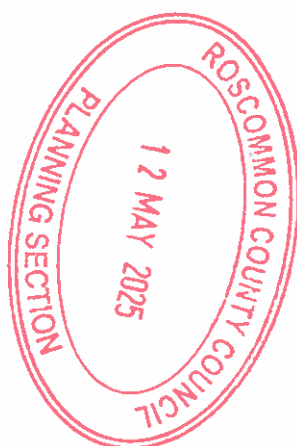
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- Planning Section 5 -

rev	date	amendment
project		
Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506		
client		
Marie and Denis Monaghan		
title		
Site Layout,		
author		
Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballybaun, Ballinamore BR, Ballinasloe, Co. Roscommon. Tel (09098)24828 . m 086 8685308. Email: vburke@technologist.com		
date	April 25	drawing number
scale	1:500	025 10 02
		rev



Site Layout

Sheet No. 6

Part of O.S. Roscommon 50

Existing floor level = 56.60 m

Existing House for
Denis and Marie Monaghan at

Porteen & Ballyrevagh, Taughmaconnell,
Ballinasloe, Co. Roscommon.
Site outlined in red
Site area = 1.028 hectares

Surveyed *Terence Kelly*
Dysart, Ballinasloe,
Roscommon.

Scale 1:500
Date 05/04/25

Existing dwelling



Edge of road



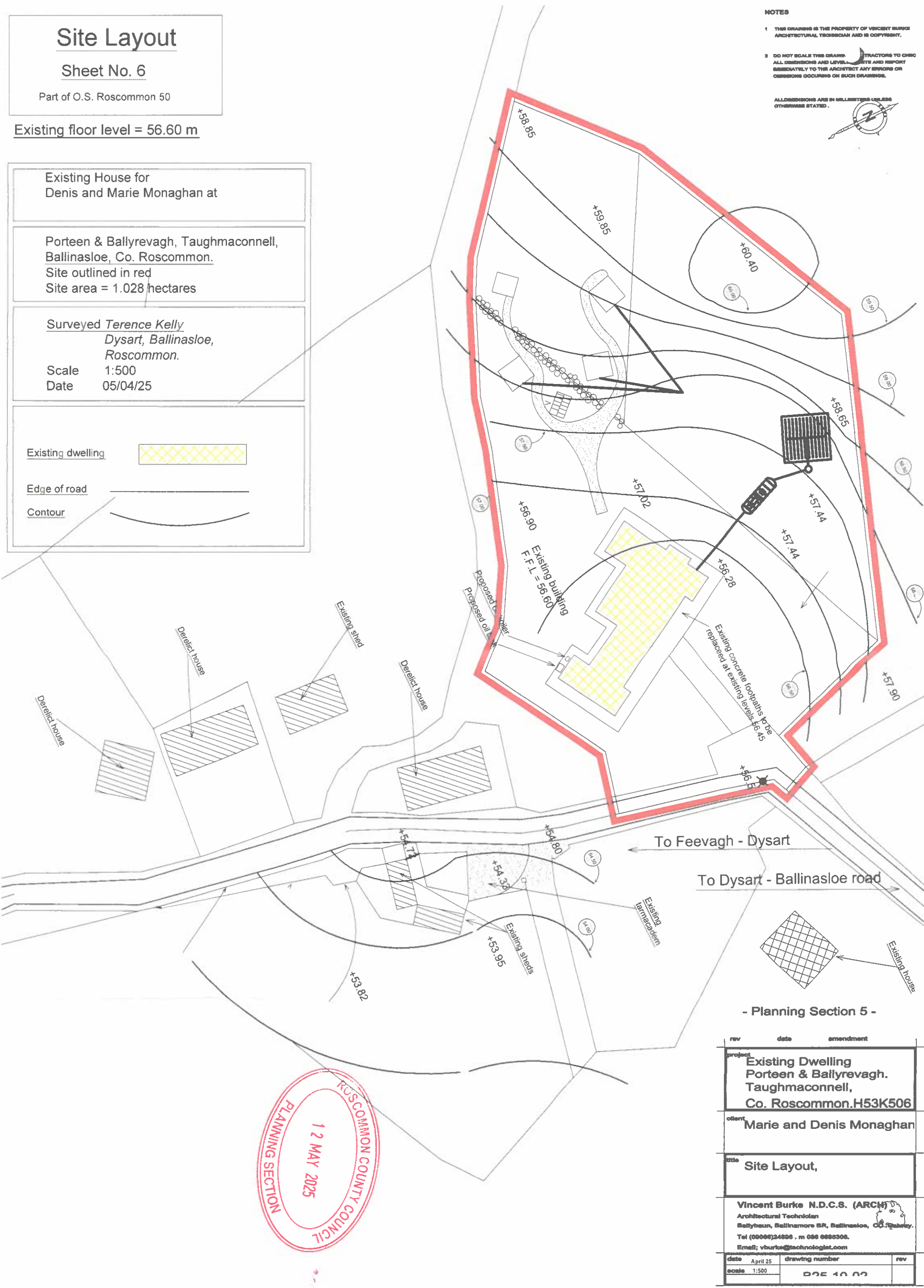
Contour



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- Planning Section 5 -

rev	date	amendment
project	Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506	
client	Marie and Denis Monaghan	
title	Site Layout,	
Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballybeun, Ballinamore BR, Ballinasloe, Co. Roscommon. Tel (00066)24896 . m 086 6885306. Email: vburke@technologist.com		
date	April 25	drawing number
scale	1:500	025 10 02
		rev

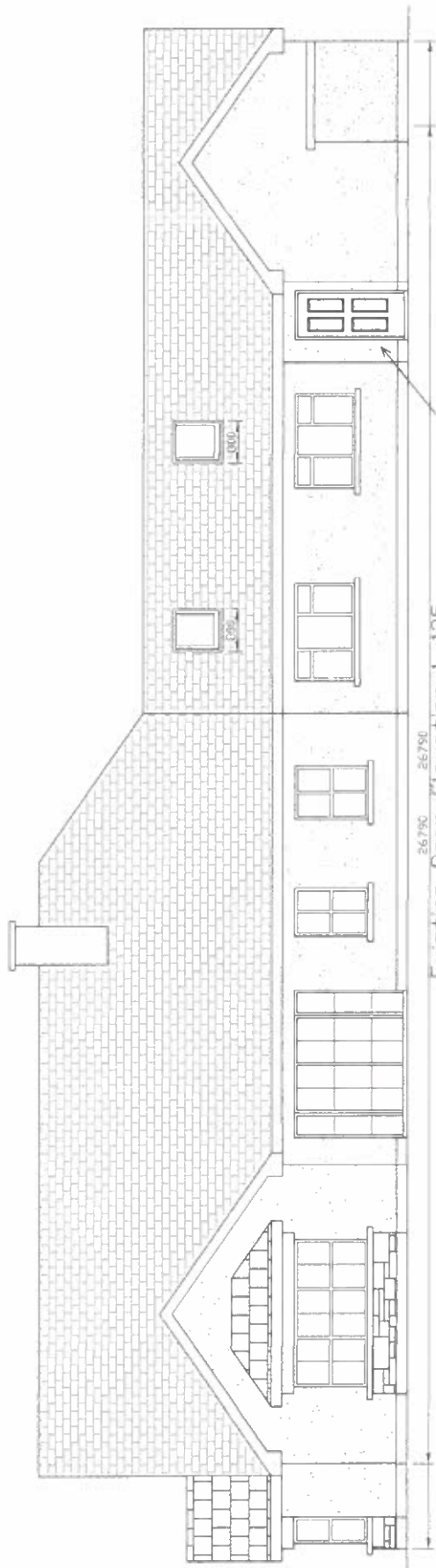


ROSCOMMON COUNTY COUNCIL
12 MAY 2025
PLANNING SECTION

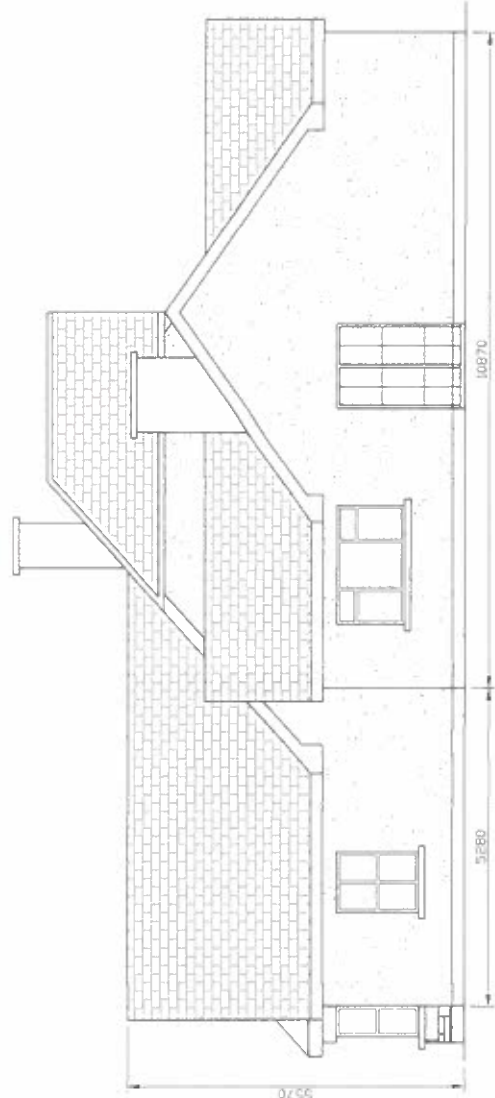


Existing Front Elevation 1:125

North west end view 1:125



Existing Rear Elevation 1:125

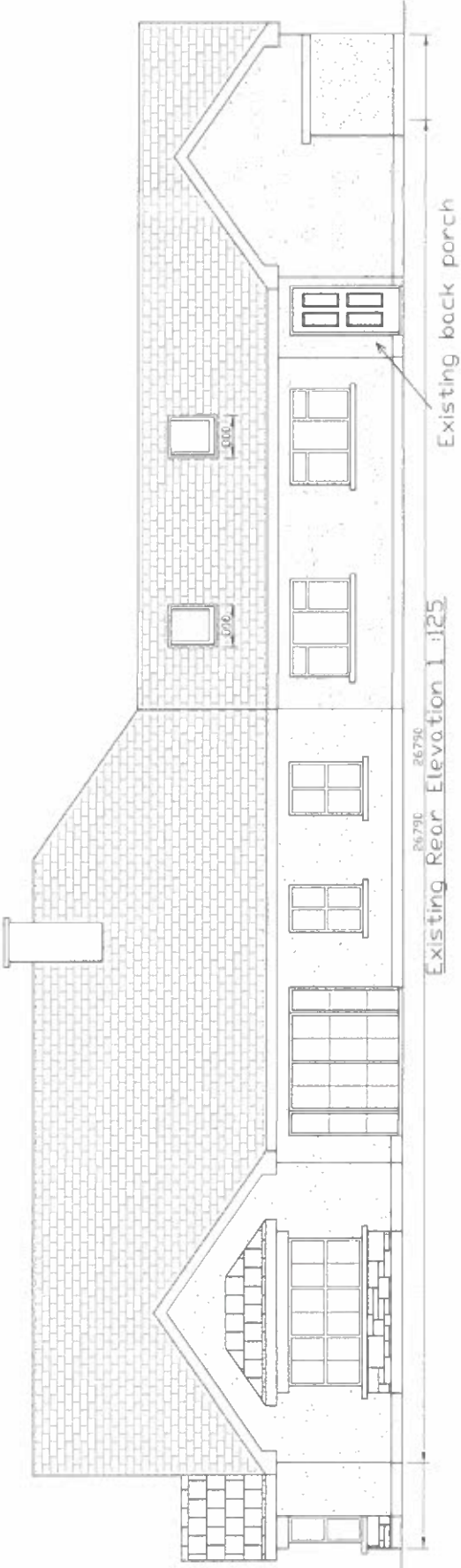


South east end view 1:125

rev	date	amendment
project Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506		
client Marie and Denis Monaghan		
title Existing Elevations - Section 5 -		
drawn by Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballyvaughan, Ballyvaughan BR, Ballyvaughan, Co. Galway. Tel (00000)24888 .m 088 0035000. Email: vburke@technological.com		
date	April 25	drawing number
scale	1:125	rev
drawn	V.BURKE	B25-10-03



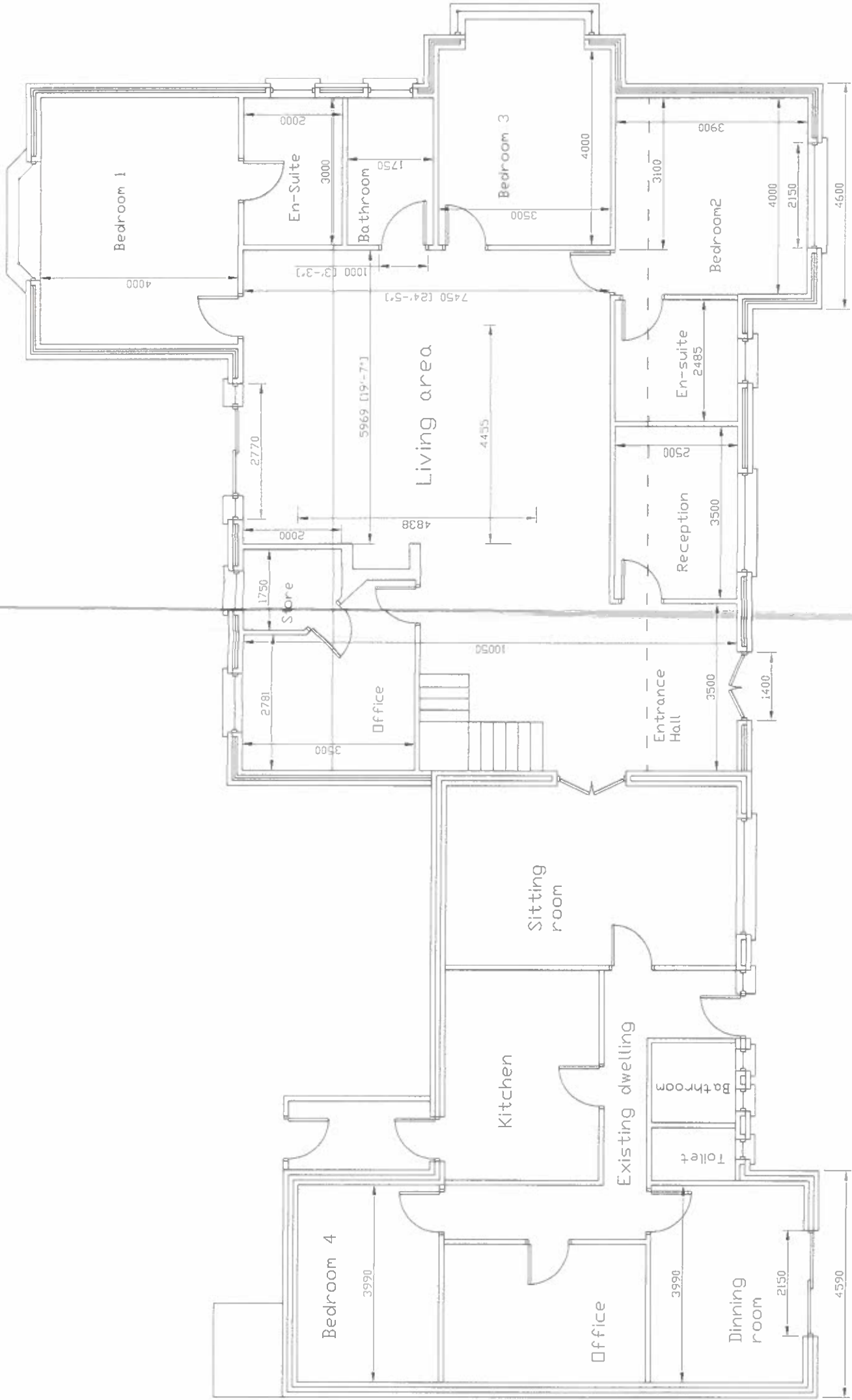
North west end view 1:125



rev	date	amendment
project	Existing Dwelling Porteen & Ballyrevagh. Taughmacconnell, Co. Roscommon.H53K506	
client	Marie and Denis Monaghan	
title	Existing Elevations - Section 5 -	
Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballyvaughan, Ballymore BR, Ballyvaughan, Co. Dublin. Tel: (00000)24444 . m 088 0000000. Email: vburke@technologist.com		
date	April 25	drawing number
scale	1:125	
drawn	V.BURKE	
rev		
	B25-10-03	

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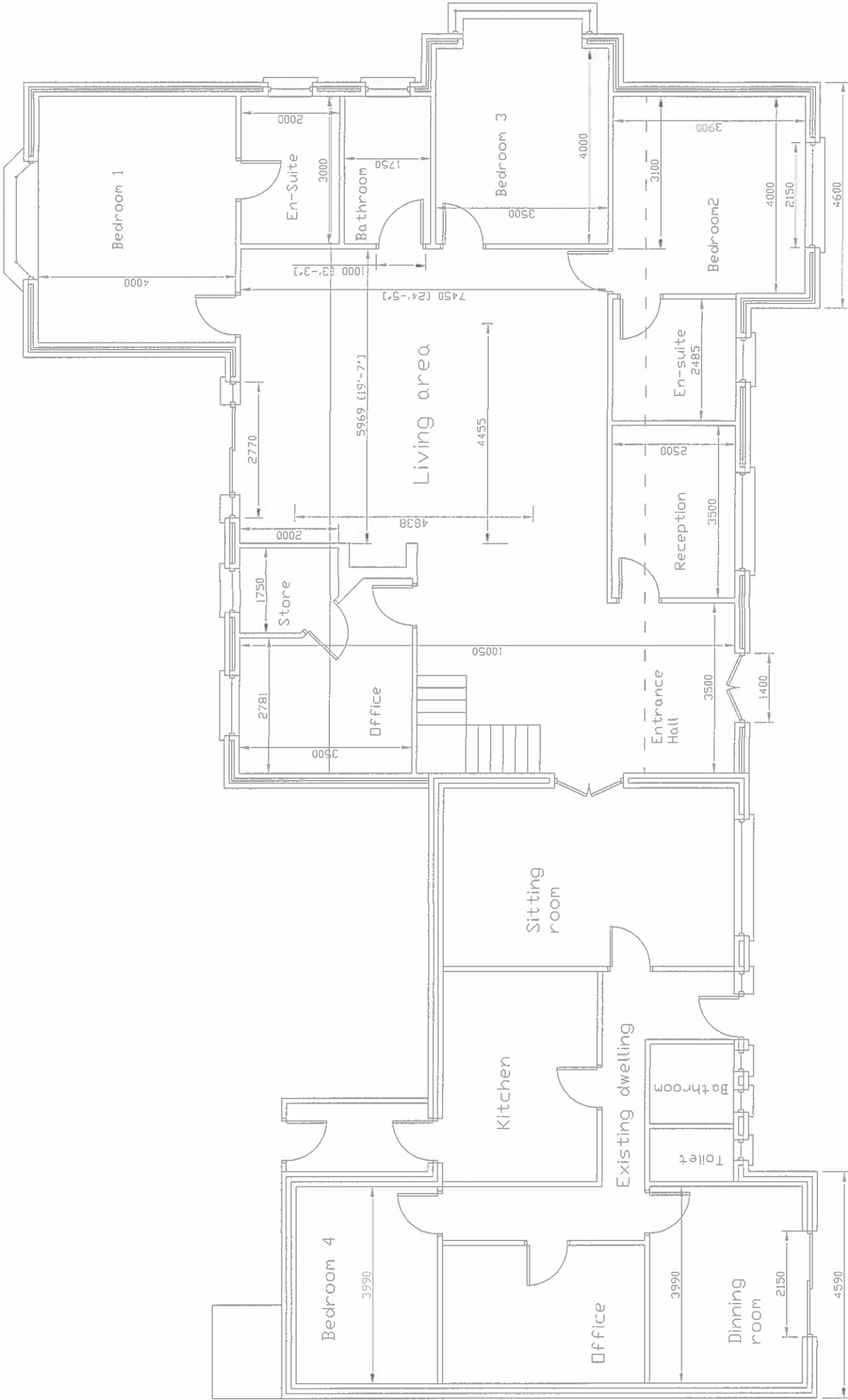


Existing Floor Plan 1 :100

rev	date	amendment
project		Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506
client		Marie and Denis Monaghan
title		Existing Plan - Section 5 -
Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballyvaughan, Ballymore Park, Ballyvaughan, Co. Dublin. Tel: (00353)24686 1 m 096 8882308. Email: vburke@technologies.com		
date	April 25	drawing number
scale	1:100	rev
drawn	V.BURKE	B25-10-02

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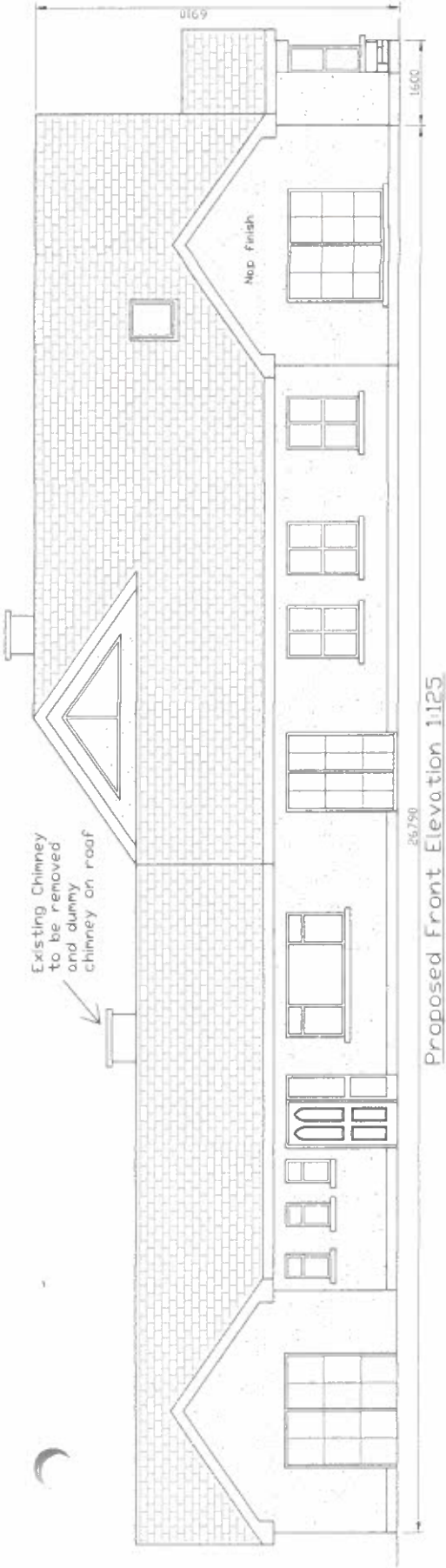
Existing Floor Plan 1 :100

rev	date	amendment
project Existing Dwelling Porteen & Baillyrevagh. Taughmaconnell, Co. Roscommon.H53K506		
client Marie and Denis Monaghan		
title Existing Plan - Section 5 -		
Vincet Burke N.D.C.8. (ARCH) Architectural Technician Ballyvaun, Ballymore BR, Ballyvaun, Co. Sligo. Tel (00000)24888 . m 008 0000000. Email: vburke@technologies.com		
date	April 25	drawing number
scale	1:100	
drawn	V.BURKE	B25-10-02
rev		

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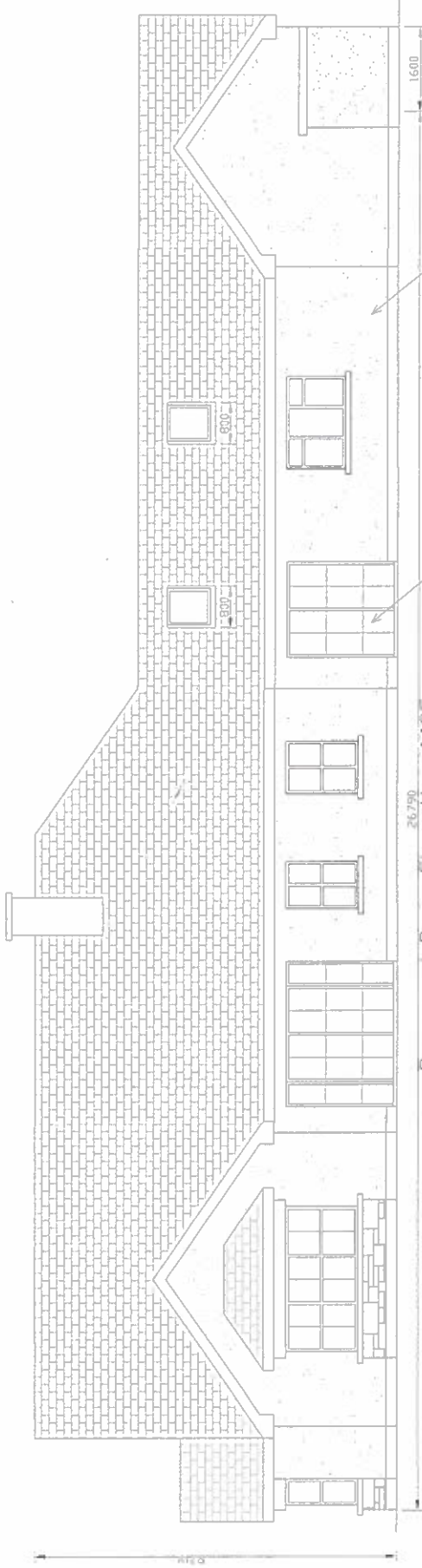
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Proposed Front Elevation 1:125

North west end view 1:125
(no change)



Proposed Rear Elevation 1:125

Existing back porch to be demolished and existing back door to be blocked up

Existing back window to be replace with sliding door

South east end view 1:125
No Change

Specification

All work relates to plan marked in blue.

Ground Floors:
Construct new floors 65mm screed on 150mm HD insulation(0.021) w/nk) on 100mm subfloor on 1000 gauge D.P.M. topped and air sealed against all internal and external walls and extended 100mm above FFL on 150 consolidated hardcore. include for 1 No Radon Sump.

External walls
All External walls to be dry lined.

Electric
Rewire all of house naked in blue.

Plumbing
Replumb all of house marked in blue.

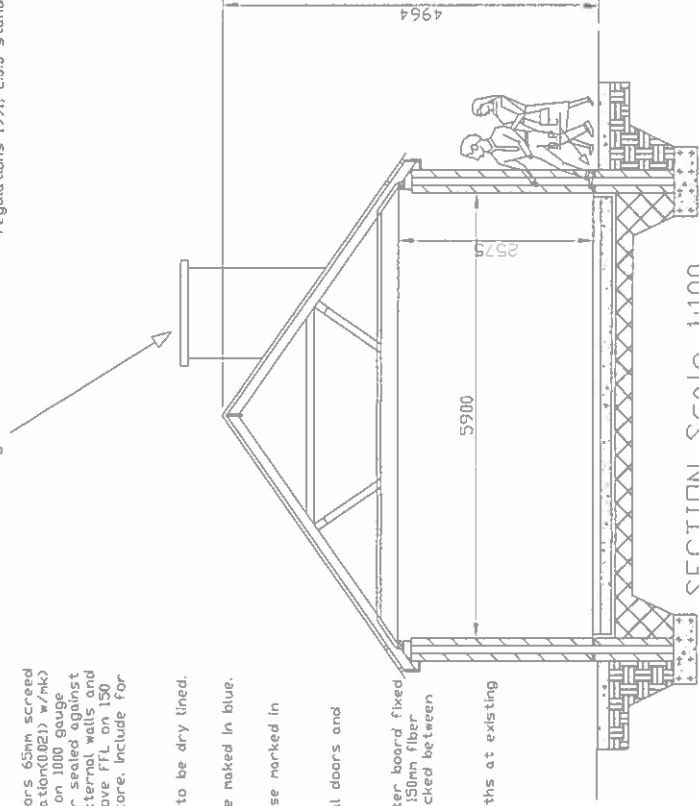
Second fix
replace all internal doors and architraving.

Ceiling:
12mm folback plaster board fixed to joists and min. 150mm fiber glass insulation packed between joists in attic.

Footpaths
replace all footpaths at existing level.

Dummy Chimney:
Construct dummy chimney and cap to match existing

All work to comply with building regulations 1991, E.S.B standards.



SECTION Scale 1:100

- Planning Section 5 -

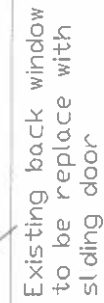
rev	date	amendment
project Existing Dwelling Porteen & Ballyrevagh. Taughmacannell, Co. Roscommon.H53K506		
client Marie and Denis Monaghan		
title PROPOSED Elevations, Section AA		
Vincnet Burke N.D.C.S. (ARCH) Architectural Technician Ballybean, Ballymore BR, Ballyvaughan, Co. Galway. Tel (00000)24000 . m 000 0000000. Email: vburke@technologist.com		
date April 25	scale 1:100	rev
drawn V.BURKE	drawing number B25-10-05	

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OTHERS STATED:



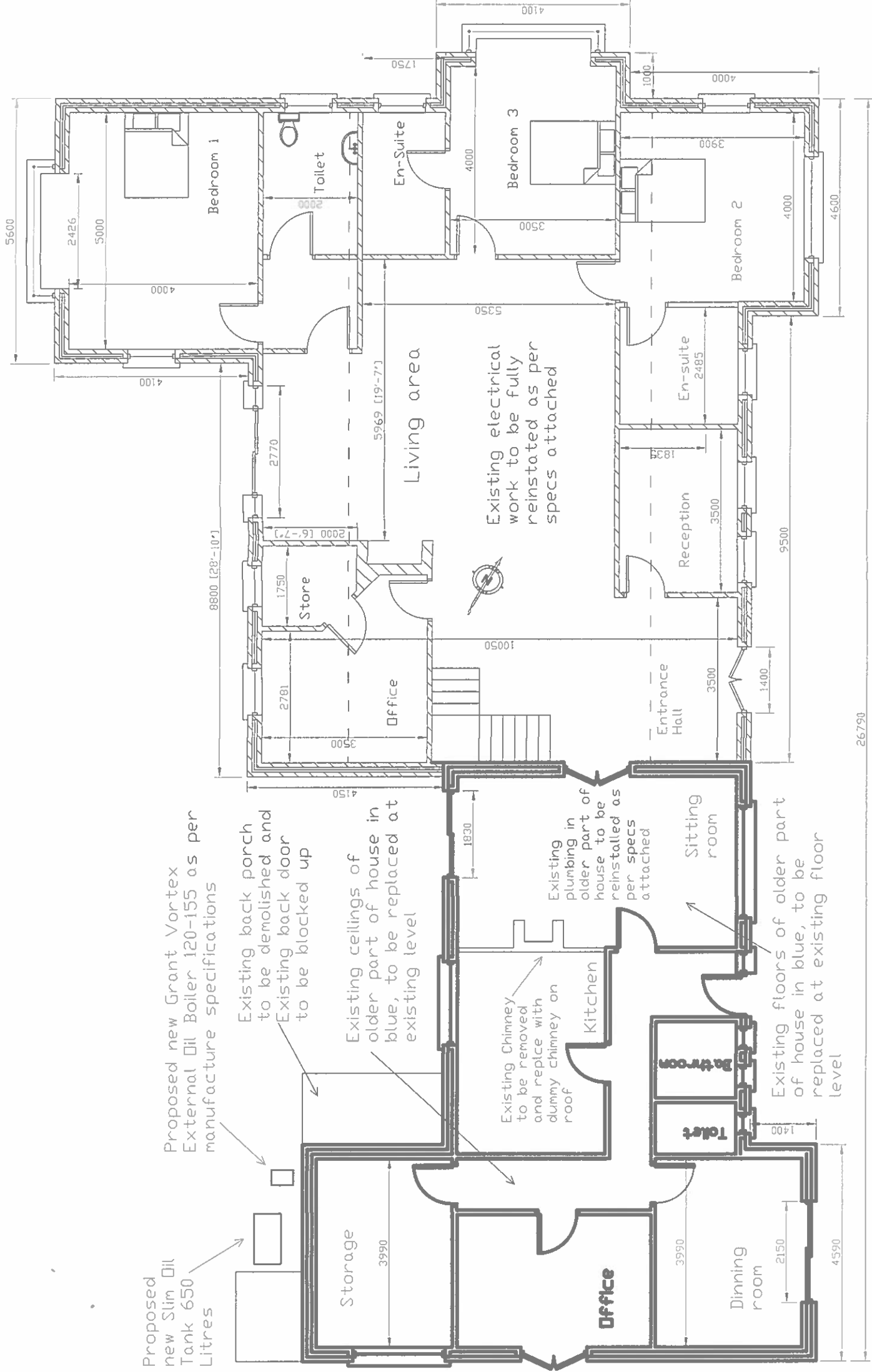
North west end view 1:25
(no change)



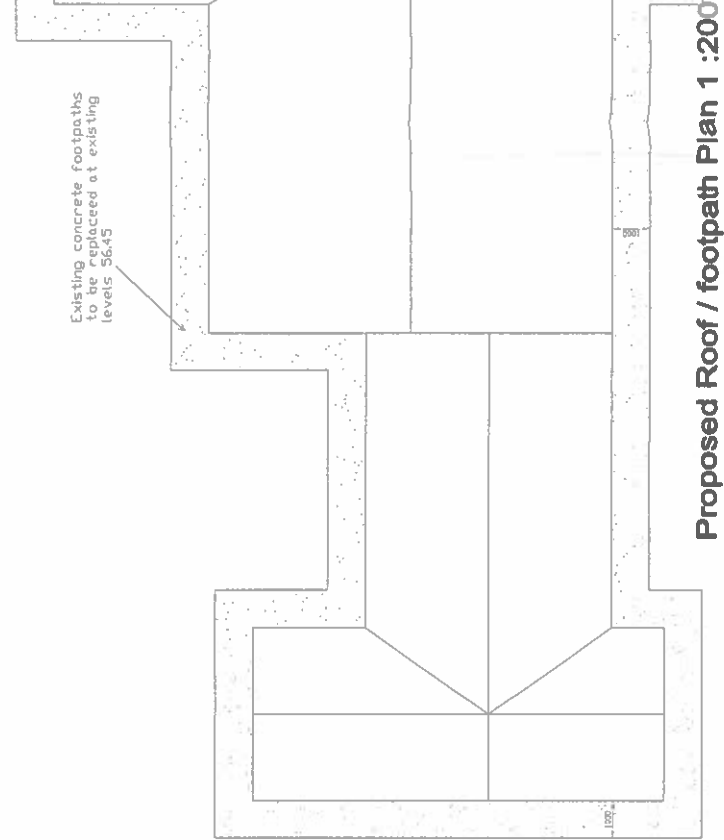
South east end view 1:125
No Change

- Planning Section 5 -

rev	date	amendment
project	Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506	
client	Marie and Denis Monaghan	
title	PROPOSED Elevations, Section AA	
Vincent Burke N.D.C.S. (ARCH) Architectural Technician Ballybean, Bellinamore BR, Bellinakee, Co. Sligo. Tel: (08699)24690 . m 086 9983304. Email: vburke@technologist.com		
date	April 25	rev
Scale	1:100	
drawn	V.BURKE	B25-10-05



Proposed Floor Plan 1 :100



Proposed Roof / footpath Plan 1 :200

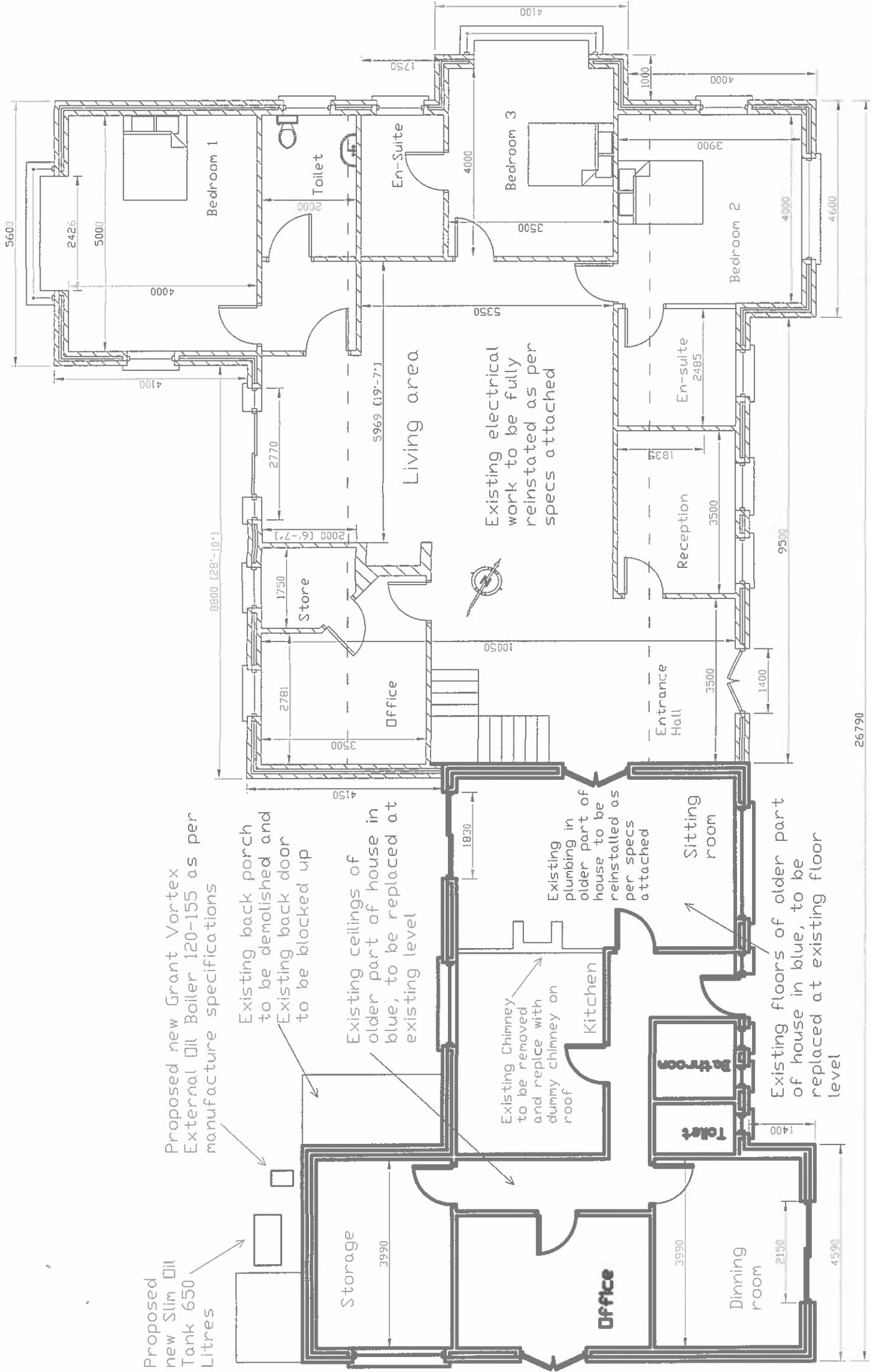
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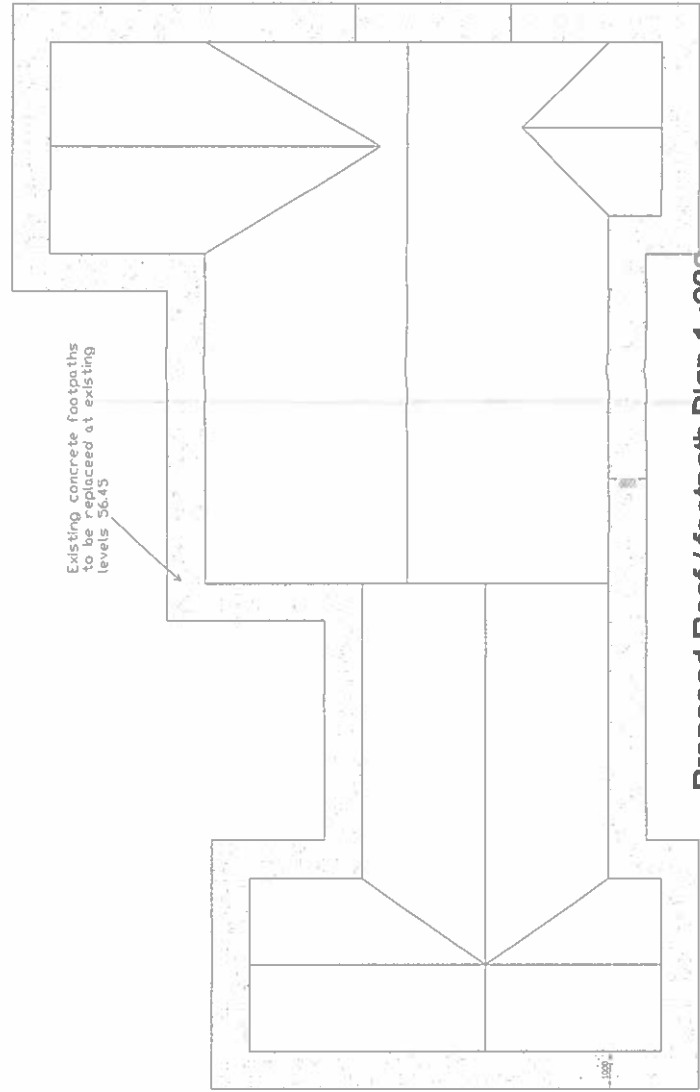


- Planning Section 5 -

REV	date	amendment
project Existing Dwelling Porteen & Ballyrevagh, Taughmaconnell, Co. Roscommon.H53K506		
client Marie and Denis Monaghan		
title Proposed Plan and Roof Plan		
author Vincent Burke N.D.C.S. (ARCHT) Architectural Technician Ballybeem, Ballymore BR, Ballinasloe, Co. Galway, Tel: (00000)24898 . m 008 0083006. Email: vburke@technologist.com		
date	April 25	drawing number
scale	1:100	
drawn	V.BURKE	
		B25-10-04
		REV



Proposed Floor Plan 1 :100



Proposed Roof / footpath Plan 1 :200

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- Planning Section 5 -

rev	date	amendment
project	Existing Dwelling Porteen & Ballyrevagh. Taughmaconnell, Co. Roscommon.H53K506	
client	Marie and Denis Monaghan	
title	Proposed Plan and Roof Plan	
Vincent Burke N.D.C.S. (ARCHT) Architectural Technician Ballybaun, Ballinamore BR, Ballinacorney, Co. Roscommon. Tel: (00000)24000 . m 000 0000000. Email: vburke@technologist.com		
date	April 25	rev
scale	1:100	
drawn	V.BURKE	
	drawing number	
	B25-10-04	