

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Margaret Mary Gemma Holtkamp,



Reference Number: DED 809
Application Received: 29th November 2024
Name of Applicant: Margaret Mary Gemma Holtkamp
Agent: DK Engineering

WHEREAS a question has arisen as to whether the conversion of an existing garage into a universal access wetroom and bedroom at Glenard, The Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768, is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended.
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The proposal constitutes "works", which comes within the scope of section 2(1) of the Planning & Development Act 2000 (as amended).
- (b) The proposal constitutes "development" which comes within the scope of section 3(1) of the Planning & Development Act 2000 (as amended).
- (c) The proposal is exempted development in accordance with the provisions set out under Sections 4(1)(h) and 4(1)(j) of the Planning & Development Act 2000 (as amended).
- (d) The proposed works and development, fall under a class of development listed in Schedule 2 of Part 1; Class 1 of Article 6.
- (e) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to convert an existing garage into a universal access wetroom and bedroom at Glenard, The Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768, is development that is **exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 4th February 2025

cc agent via email:

DK Engineering
deteckof@eircom.net

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

Carmel Curley

From: Carmel Curley
Sent: Wednesday 5 February 2025 10:29
To: dteckof@eircom.net
Subject: DED809 - Notification of Decision
Attachments: DED809 - Notification of Decision.pdf

A Chara,

Please find attached Notification of Decision for DED Application 809 submitted on behalf of Margaret Mary Gemma Holtkamp. Please note that a hard copy will be issued to the applicant via registered post.

Regards,

Carmel

**Carmel Curley, Assistant Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98
☎: (090) 6637100**

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION



**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

Reference Number:	DED 809
Re:	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development.
Name of Applicant:	Margaret Mary Gemma Holtkamp
Location of Development:	Glenard, the Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768
Site Visit:	20/01/2025

WHEREAS a question has arisen as to whether the following works; “to convert an existing garage into a universal access wetroom and bedroom under the Planning & Development Act (Exempted Development) Regulations 2018 at the above address is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site
- (e) Section 5 Referral (R23-73) – Patrick O’Shaughnessy – Clare County Council [09.10.2023]

1. Site Location & Description of Development & Nature of Proposed Development

Site Location:

The subject site is situated in the Planning South area of County Roscommon and is flanked by the L-7635, which borders the south extent of the site. The local road is accessed off the N61, a national secondary route traversing from the north of the county (Boyle) to the south of the county (Athlone west).

Development Description:

1. **Access:** The subject site is positioned north of the L-7635. There is open (un-gated) access to the subject site from the local road.
2. **Boundaries:** The site is bounded by mature hedgerow to the east, west and northern boundary extents, with a combination of timber post and rail and timber post and wire fencing delineating the borders. The south extent of the site is open/un-bounded by fencing or hedgerow.
3. **Structure:** The structure and associated sheds are in a state of substantial dereliction.

Nature of Proposed Works:

The application states the nature of the proposed development/works comprise the conversion of an “*existing garage into universal access wet-room and bedroom*” under the Planning & Development Act (Exempted Development) Regulations 2018, at Glenard, the Berries, Athlone, Co. Roscommon.

On review of the plans and particulars submitted as part of this application, the following works are proposed:

1. Ramped universal access to the front elevation of the property
2. Enclosure of existing recessed sheltered canopy between the dwelling and the garage to create a ‘link’ between the kitchen proposed new wheelchair accessible bedroom and (UA) ensuite. This requires the installation of a new window and door panel to the front elevation of the property to match the existing house windows.
3. Replacement of garage door to front elevation of property with curtain window in the existing garage ope.
4. Replacement of roof for compliance with Building Regulations and the requisite technical guidance documents pertaining to same. The proposed is a mono-pitch structure in keeping with the profile of the existing.
5. Internal joinery and M&E works to accommodate the provision of a bedroom and a (UA) ensuite.

6. External insulation to be fitted as part of the proposed works; finish to same to match that of the nap-plaster render on the existing dwelling.

2. Geographic Information Systems [GIS]

European Sites:

As per a review of Roscommon County Council's Geographic Information Systems, the subject site is located in proximity to a European Site.

- Appropriate Assessment

The closest designated sites include; "Lough Ree" *Special Area of Conservation* (SAC) (Site Code: 000440 and Special Protection Area (SPA) (Site Code: 004064) which is located ca. 1km east of the subject site. The Middle Shannon Callows SPA (Site Code: 004096) is located ca. 2.8km south of the subject site and the River Shannon Callows (Site Code: 000216) is located 2.8m south for the subject site.

Having regard to the separation distances between the site and the closest Natura 2000 site, given the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, can be excluded.

Architectural / Archaeological Heritage

As per a review of Roscommon County Council's Geographic Information Systems, the following architectural and/or archaeological heritage sites/structures are in proximity to the subject site or property thereon:

- Assessment of Architectural & Archaeological Heritage

The property is not a protected structure; further, the closest structure listed by the National Monuments Service includes a field system (SMR No.: RO049-013001-) which is located ca. 1km north-east of the subject site.

3. Planning History

As per Roscommon County Council's Planning Registry, a planning history assessment of the subject site and property thereon includes the following:

- **PD/4305:** Permission granted, subject to 5 conditions for the "erection of a dwelling-house". Plans and particulars reflect the dwelling house on site. **Decision – Granted on 14/05/1970.**
- **PD/00/836:** Outline Permission for the development of a dwelling house and treatment unit and creation of twin recesses access and closing up of existing entrance. **Decision - Refused on 09/08/2000.**
- **PD/00/1480:** Dwelling house, sewage treatment unit, new recessed entrance and closing up of existing entrance. **Decision - Refused on 08/02/2001.**

4. Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2 (1)

In this Act, "works" include any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 (1)

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4 (1)

Defines certain types of development as being ‘exempted development’. Of relevance is section 4(1)(h) which provides as follows:

“development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Of relevance is section 4(1)(j) which provides as follows:

“development consisting of the use of any structure or other land within the curtilage of a house for any purpose incidental to the enjoyment of the house as such”.

Section 4 (2)

Outlines that the Minister may, by regulations, provide for any class of development to be exempted development for the purpose of this Act. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 as amended

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act –

- (a) If the carrying out of such work would-
 - (i) Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.
 - (viiB) Comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site.

5. Planning Assessment

Hereunder, details the statutory provisions pertinent to this section 5 referral have been set out, they are as follows;

In accordance with the Planning and Development Act, 2000, section 2(1) “works” include “any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure (...)”. It is considered that said proposed works constitute “works”, as defined in section 2 of the said Act.

In accordance with the Planning and Development Act, 2000, section 3(1) “development” means, “except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land”. It is considered that said works constitute development, as defined in section 3 of the said Act.

These works have been considered in the context of Section 4(1)(h) of the Act, consisting of the carrying out of works for the “*maintenance, improvement or other alteration of any structure, being works which affect*

only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”.

- Upon review of the submission particulars, and having regard to the provisions of Sections 4(1)(h) and 4(1)(j) of the Planning and Development Act 2000 (as amended), it is considered that the proposed works—comprising the conversion of an existing attached garage to a bedroom and wheelchair-accessible ensuite, together with the provision of ramped wheelchair access to the property—constitute development incidental to the enjoyment of the dwelling. Furthermore, it is determined that the proposed works would not adversely affect the architectural character of the building or adjoining structures. Accordingly, the works are deemed to fall within the scope of exempted development under Section 4(1)(h) of the Act.

With regard to Article 6, the proposed works, falling under a class of development listed in *Schedule 2, Part 1, Class 1* of Article 6, are considered in principle to constitute ‘exempted development’, subject to compliance with the relevant conditions and limitations specified for this Class of development in column 2 of the said Part 1 [1-7]. Further, on review of the plans and particulars submitted as part of this section 5 referral and having regard to the provisions of Article 9(1)(a)(viii), the existing structures on site and the proposed development works, are not considered to comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.

With Regard to Article 9(1)(a) of the Planning and Development Regulations, it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Article 9(1)(a)(viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

6. Recommendation

WHEREAS a question has arisen as to whether a proposed development; which sets out to “convert an existing garage into a universal access wetroom and bedroom under the Planning & Development Act (Exempted Development) Regulations 2018” at the site located in “Glenard, the Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768” is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

AND WHEREAS I have concluded that

- The proposal constitutes “works”, which comes within the scope of section 2(1) of the Planning & Development Act 2000 (as amended).
- The proposal constitutes “development” which comes within the scope of section 3(1) of the Planning & Development Act 2000 (as amended).
- The proposal is exempted development in accordance with the provisions set out under Sections 4(1)(h) and 4(1)(j) of the Planning & Development Act 2000 (as amended).
- The proposed works and development, fall under a class of development listed in Schedule 2 of Part 1; Class 1 of Article 6.
- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

AND WHEREAS I have concluded that

- The said development which sets out to “*convert an existing garage into a universal access wetroom and bedroom under the Planning & Development Act (Exempted Development) Regulations 2018*” at the site located in “*Glenard, the Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768*” is considered to constitute ‘exempted development’ and that a declaration to that effect should be issued to the applicant.

Signed:



Blaithín Kinsella

Assistant Planner

Date: 21/01/2025

Signed:



Alan O'Connell

Senior Executive Planner

Date: 21/01/2025

Site Photos: 20/01/2025



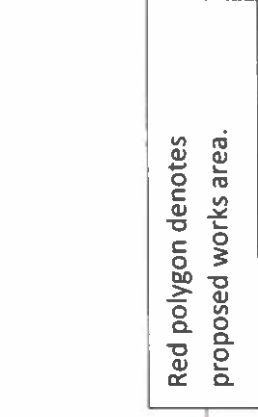
Facing westward
(local road)



Facing eastward
(local road)



On approach to
the house



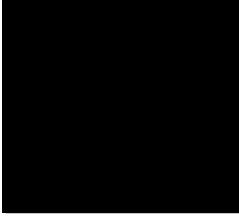
Red polygon denotes
proposed works area.



Comhairle Contae
Ros Comáin
Roscommon
County Council



Margaret Mary Gemma Holtkamp,



Date: 3rd December 2024
Planning Reference: DED 809

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission to convert an existing garage into a universal access wetroom and bedroom under the Planning & Development Act (Exempt Development) Regulations 2018 at Glenard, The Berries, Barrybeg, Athlone, Co. Roscommon, N37 X768.

A Chara,

I wish to acknowledge receipt of your application which was received on the 29th November 2024, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. **L01/0/230185** dated 22nd August 2024, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 809**
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell
Senior Executive Planner,
Planning Department.

cc agent via email: **DK Engineering**
dcteckof@eircom.net

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

22/08/2024 12:51:39

Receipt No : L01/0/230185

MARGARET MARY GEMMA HOLTKAMP

PLANNING APPLICATION FEES 80.00
GOODS 80.00
VAT Exempt/Non-vatable
DED 753

Total 80.00 EUR

Tender
Credit/Debit Card 80.00
3201

Change 0.00

Issued By : Bernadine Duignan
From : Central Cash Office



Comhairle Contae
Ros Comáin
Roscommon
County Council



Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the

Planning & Development Act 2000 (as amended), regarding Exempted Development

Name of Applicant(s)	MARGARET MARY GEMMA HOLTKAMP
Name of Agent	DK ENGINEERING
Nature of Proposed Works	CONVERT EXISTING GARAGE INTO UNIVERSAL ACCESS WETROOM AND BEDROOM
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	OLGNARD, THE BERRIES, BARRYBEG ATHLONE CO ROSCOMMON N37 K768 601374-1 742893-8
Floor Area: a) Existing Structure b) Proposed Structure	a) <u>164.2m²</u> b) <u>169.6m²</u>
Height above ground level:	3.26m height of new roof above ground level
Total area of private open space remaining after completion of this development	3995 m ² same as original layout
Roofing Material (Slates, Tiles, other) (Specify)	Bunder single ply membrane, grey.

Roscommon County Council

Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	Half plaster finish to match existing house. colour 'Arctic, Blanche'
Is proposed works located at front/rear/side of existing house.	SIDE
Has an application been made previously for this site	NO
If yes give ref. number (include full details of existing extension, if any)	—
Existing use of land or structure	GARAGE
Proposed use of land or structure	CONVERT TO 1A BEDROOM AND WET ROOM
Distance of proposed building line from edge of roadway	42.475m. SAME AS CURRENT DISTANCE
Does the proposed development involve the provision of a piped water supply	YES, FROM EXISTING HOUSE SUPPLY
Does the proposed development involve the provision of sanitary facilities	YES, TO BE CONNECTED TO EXISTING SEPTIC TANK

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature:

Date:

Note: This application must be accompanied by: -

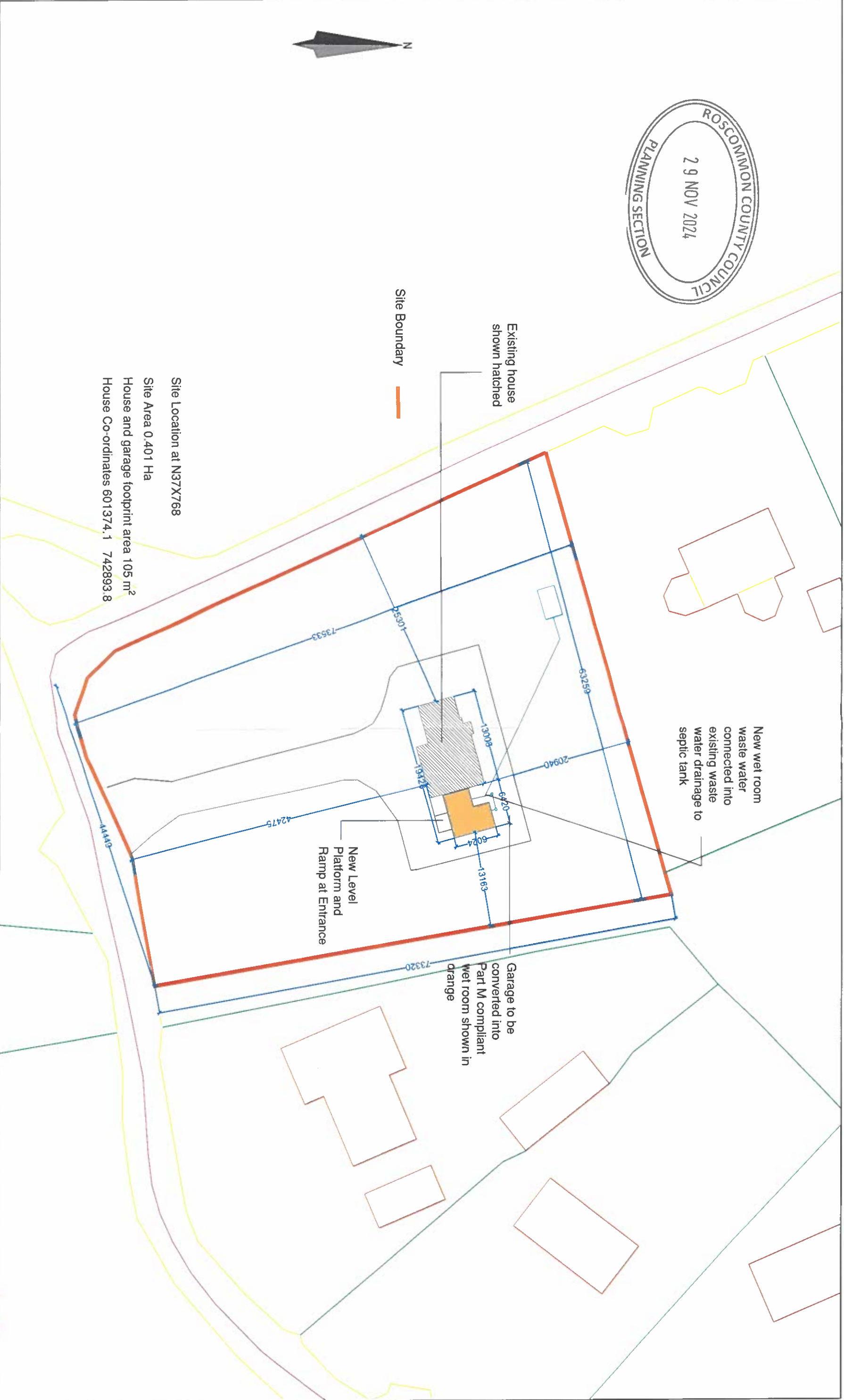
- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



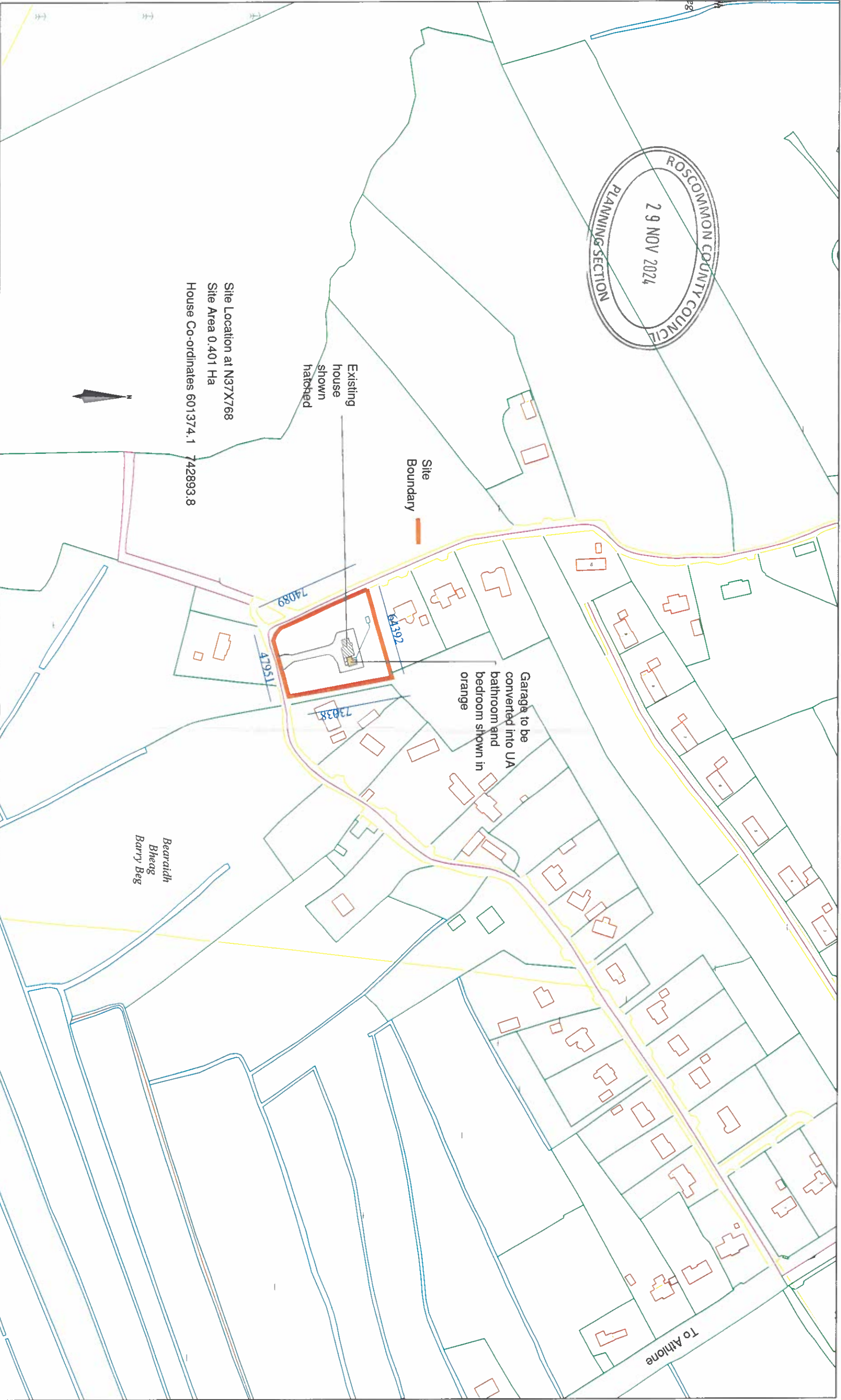
Index of Drawings

<u>Number</u>	<u>Document Title</u>
001	Site Location Map
002	Site Layout Map
003	Existing Ground Floor Plan
004	Existing First Floor Plan
005	Existing Front Elevation
006	Existing Rear Elevation
007	Existing Side Elevations
008	Proposed Ground Floor Plan
009	Proposed First Floor Plan
010	Proposed Front Elevation
011	Proposed Rear Elevation
012	Proposed Side Elevations
013	Section 1-1 Through Proposed UA Bedroom and Bathroom





PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	<div>DK Engineering</div> <div>Portlick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>
CLIENT	Margaret Mary Gemma Holikamp								
DRAWING TITLE	Site Layout Map								
DRAWING NUMBER	002								
SCALE	1:500								
	DATE	Nov 2024							



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768		
CLIENT	Margaret Mary Gemma Holikamp		
DRAWING TITLE	Site Location Map		
DRAWING NUMBER	001		
SCALE	1:2500	DATE	Nov 2024

Rev	By	Description	Date

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6. All workmanship and materials to comply with Building Regulations

DK

Engineering

Portllick

Glasson

Co Westmeath

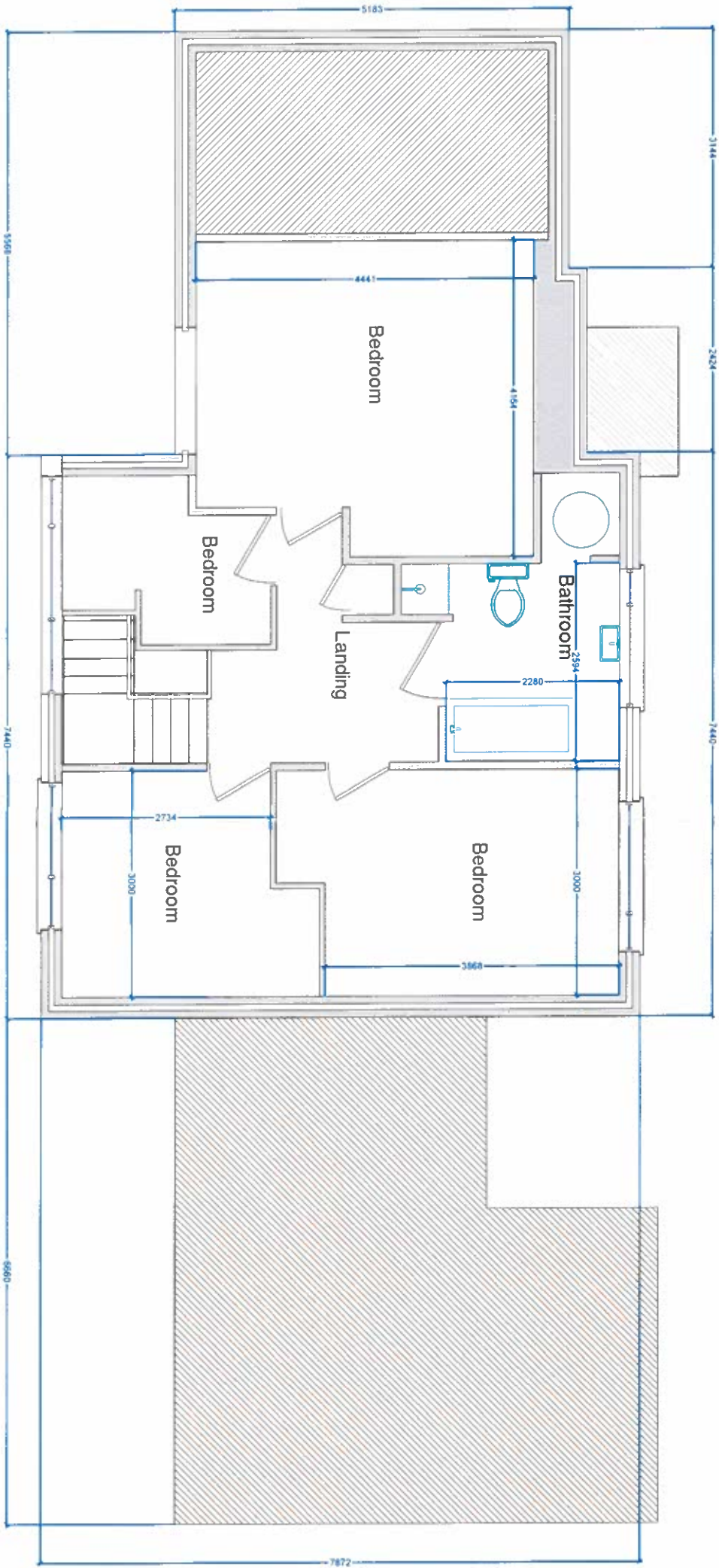
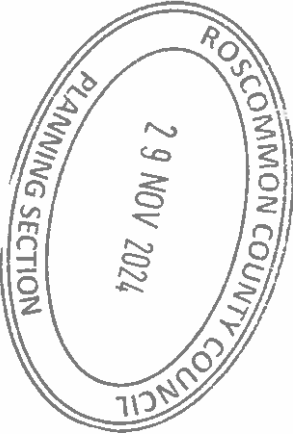
Tel/Fax : 09064 39782

Mobile : 087 6471308

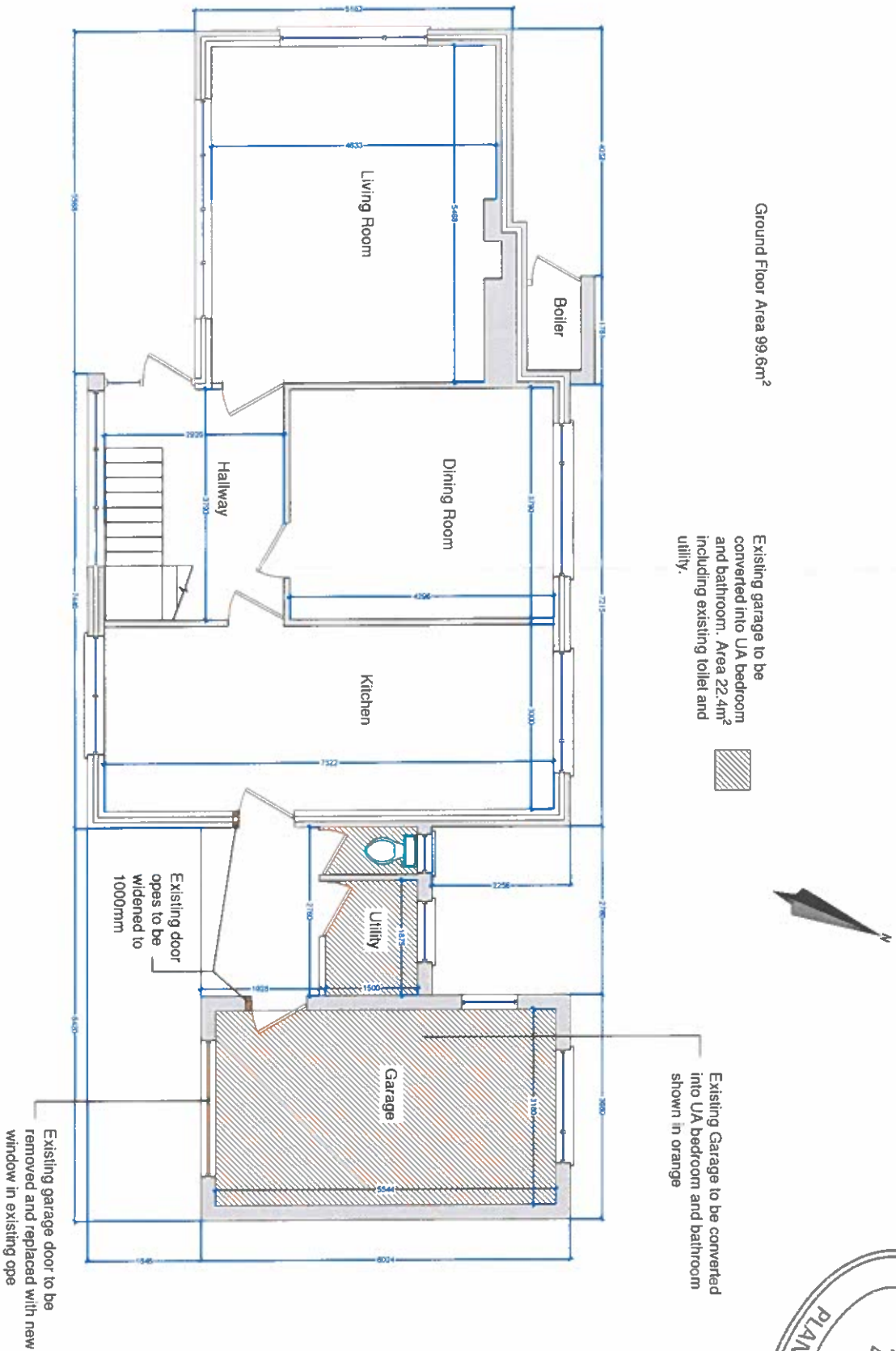
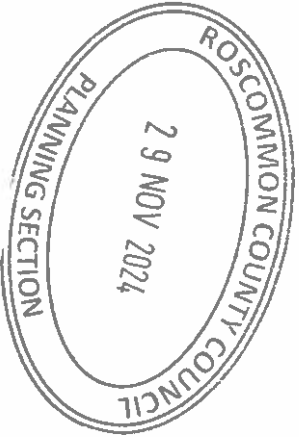
Email : dcheckol@eircom.net

Total area of first floor 64.6m²

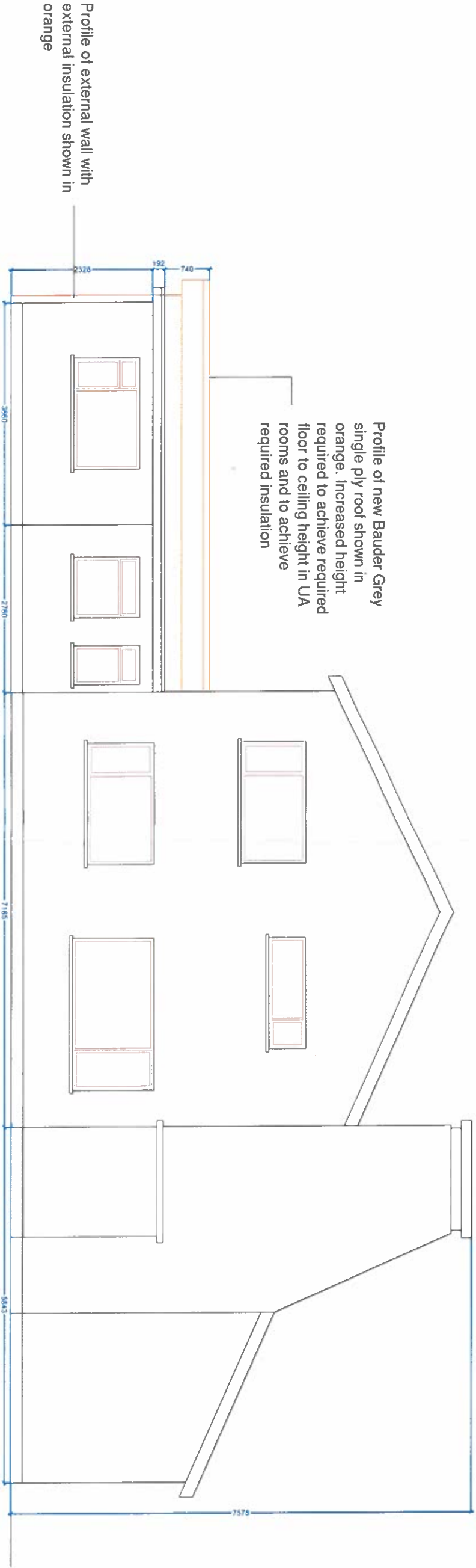
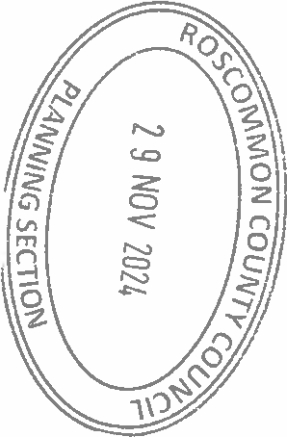
Footprint of existing garage
to be converted into UA
bedroom and bathroom



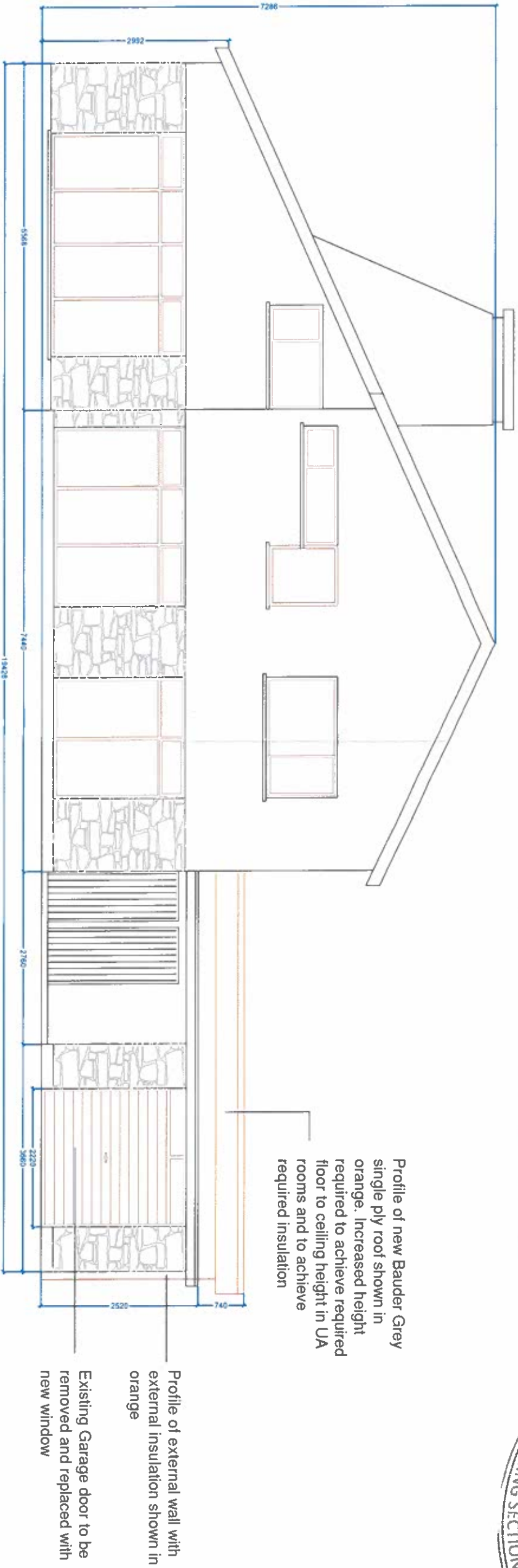
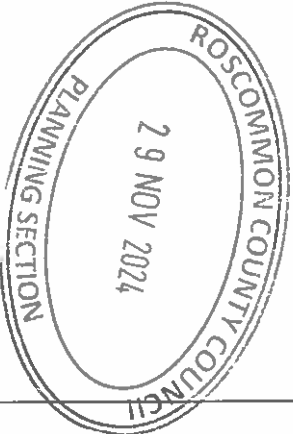
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>
CLIENT	Margaret Mary Gemma Holtkamp							
DRAWING TITLE	Existing First Floor Plan							
DRAWING NUMBER	004							
SCALE	1:75							
				DATE	Nov 2024			
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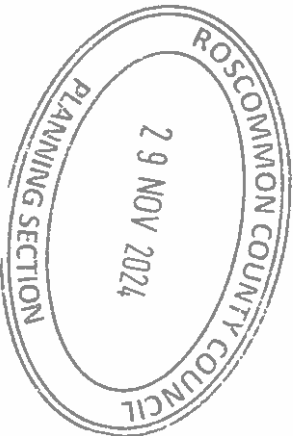
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CLIENT	Margaret Mary Gemma Holikamp									
DRAWING TITLE	Existing Ground Floor Plan									
DRAWING NUMBER	003									
SCALE	1:75	DATE	Nov 2024					<div>DK Engineering</div> <div>Portllick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckol@eircom.net</div>		



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		<div><div><div>DK</div><div>DK Engineering</div><div>Portllick</div><div>Glasson</div><div>Co Westmeath</div></div><div><div>Tel/Fax : 09064 39782</div><div>Mobile : 087 6471308</div><div>Email : dteckof@eircom.net</div></div></div>	
CLIENT	Margaret Mary Gemma Holtkamp										
DRAWING TITLE	Existing Rear Elevation										
DRAWING NUMBER	006										
SCALE	1:75	DATE	Nov 2024								



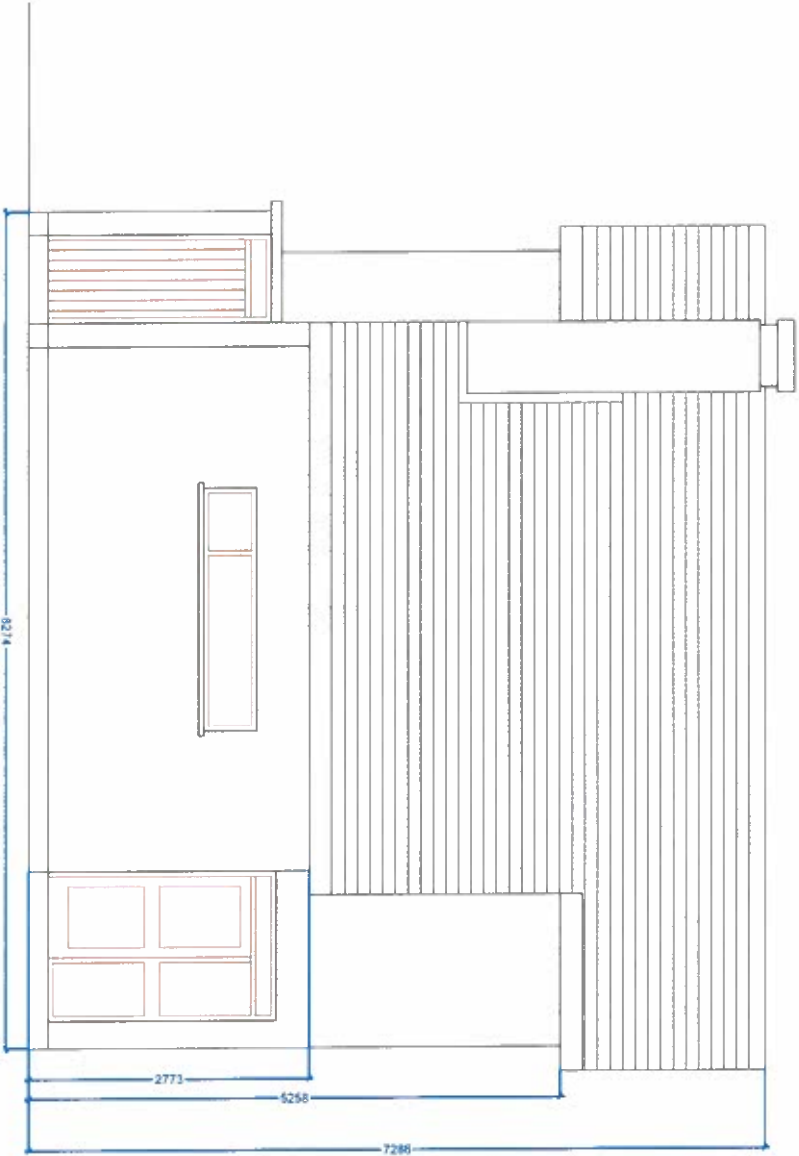
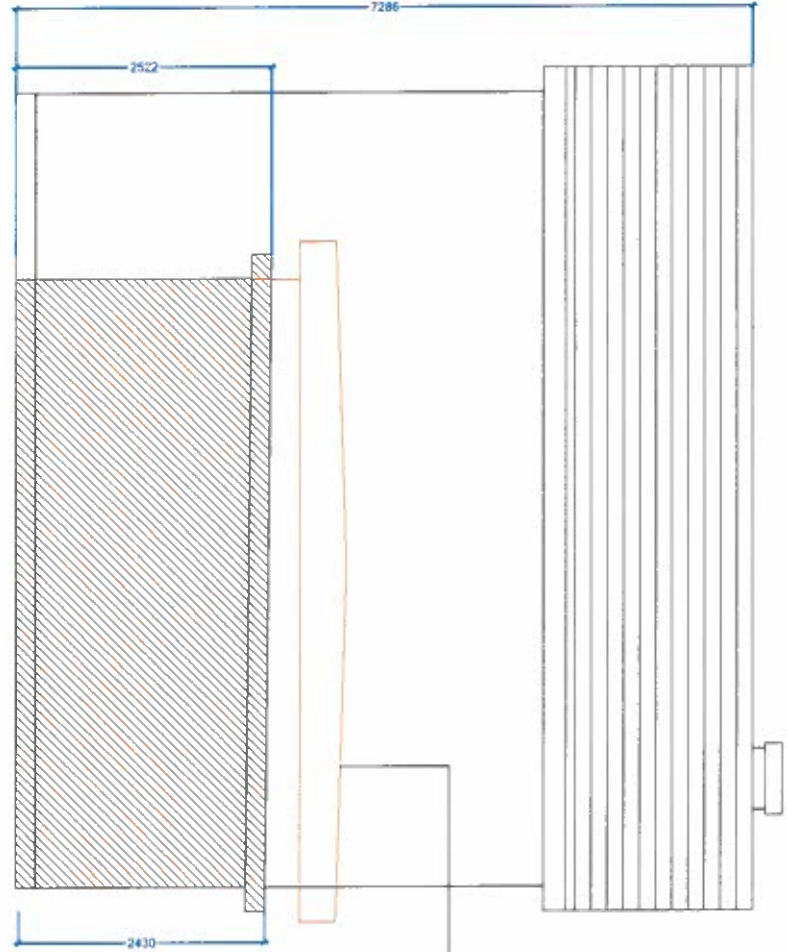
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		
CLIENT	Margaret Mary Gemma Holikamp									
DRAWING TITLE	Existing Front Elevation									
DRAWING NUMBER	005									
SCALE	1:75	DATE	Nov 2024					<div>DK Engineering</div> <div>Portlick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>		



Existing garage to be converted into UA bedroom and bathroom



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required insulation



Existing West Elevation

Existing East Elevation

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		
CLIENT	Margaret Mary Gemma Holikamp									
DRAWING TITLE	Existing Side Elevations									
DRAWING NUMBER	007									
SCALE	1:75									
	DATE	Nov 2024						<div>DK Engineering</div> <div>Portlick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckol@eircom.net</div>		

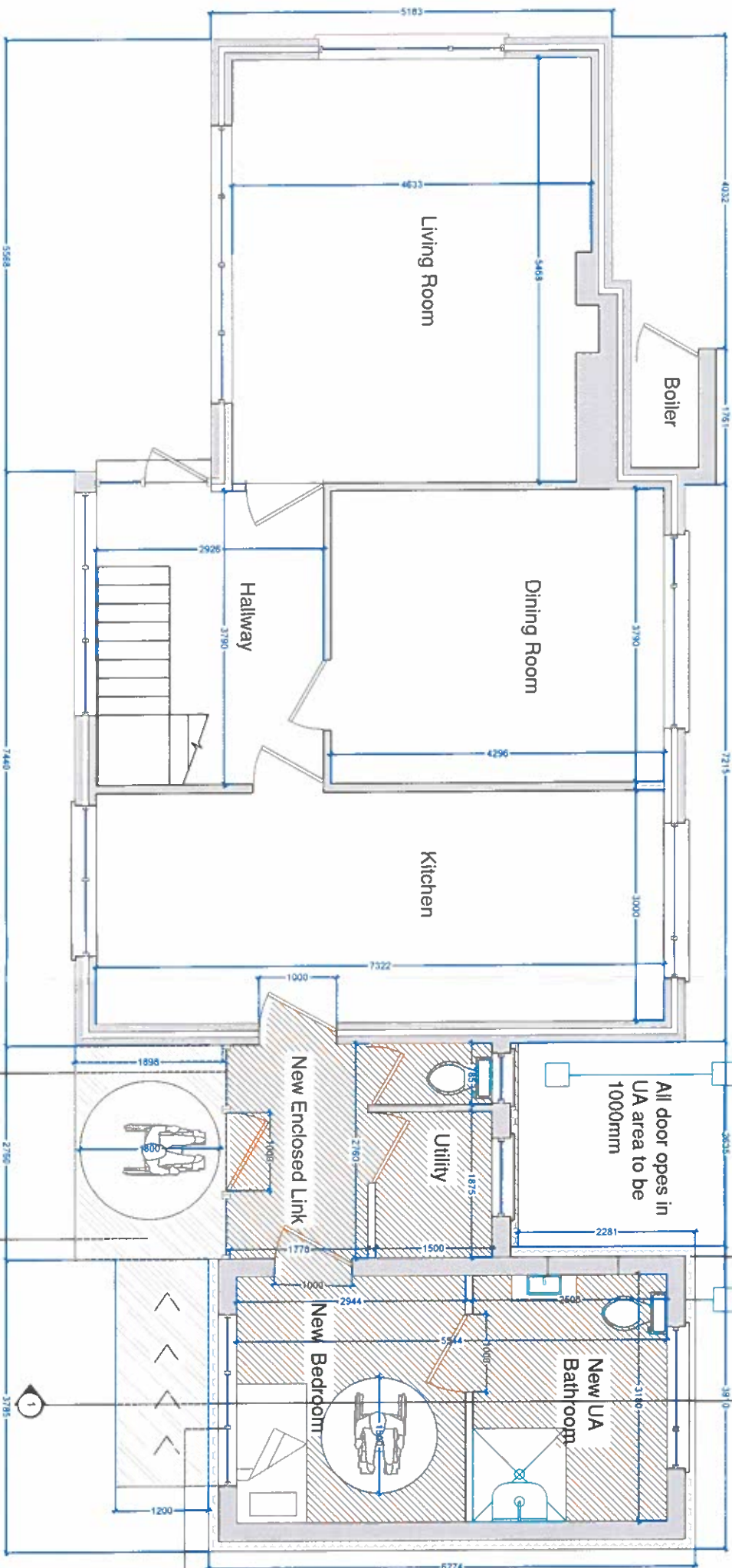
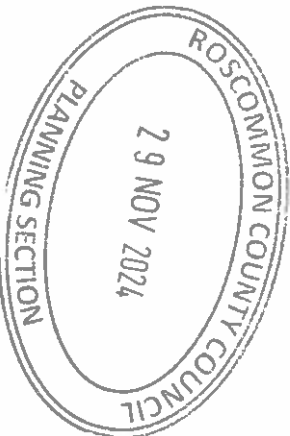
Ground Floor Area 105m²

Existing garage to be converted into U A bedroom and bathroom. Total area 27.7 m², including new link and existing utility and toilet.



New 100mm external insulation with finish to match nap plaster finish on existing house.

Grab handles, rails and emergency call buttons in bathroom omitted from drawing for clarity. New waste water connect to existing waste water effluent via two new AJs. All waste to go to existing septic tank



New window in existing garage ope. New window to match existing windows in house

New window and door panel to match existing house windows. New glazed panel to create internal link from kitchen to new U A Bedroom.

New concrete level platform and ramp shown in grey

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768		
CLIENT	Margaret Mary Gemma Holtkamp		
DRAWING TITLE	Proposed Ground Floor Plan		
DRAWING NUMBER	008		
SCALE	1:75	DATE	Nov 2024

Rev	By	Description	Date

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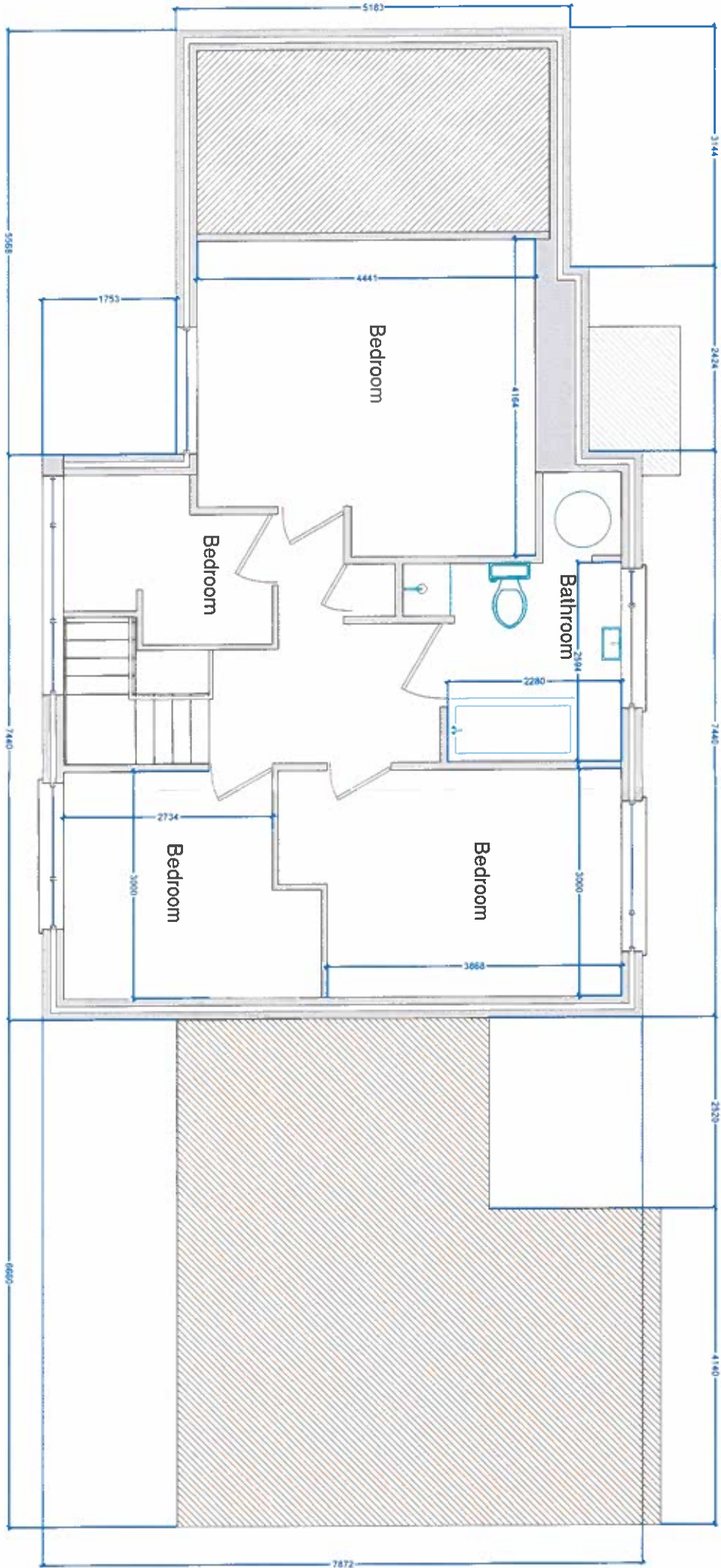
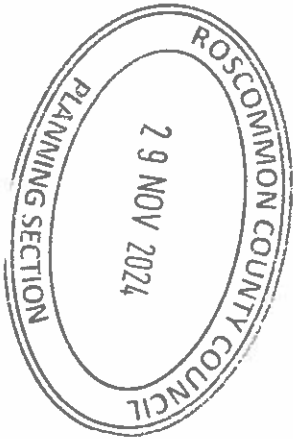


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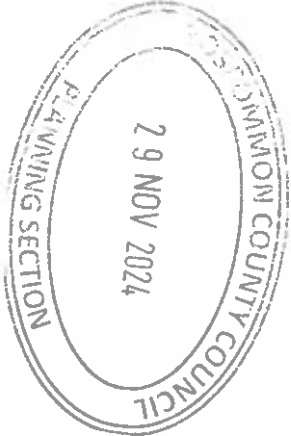
Total area of first floor 64.6m²

Footprint of existing garage
to be converted into UA
bedroom and bathroom



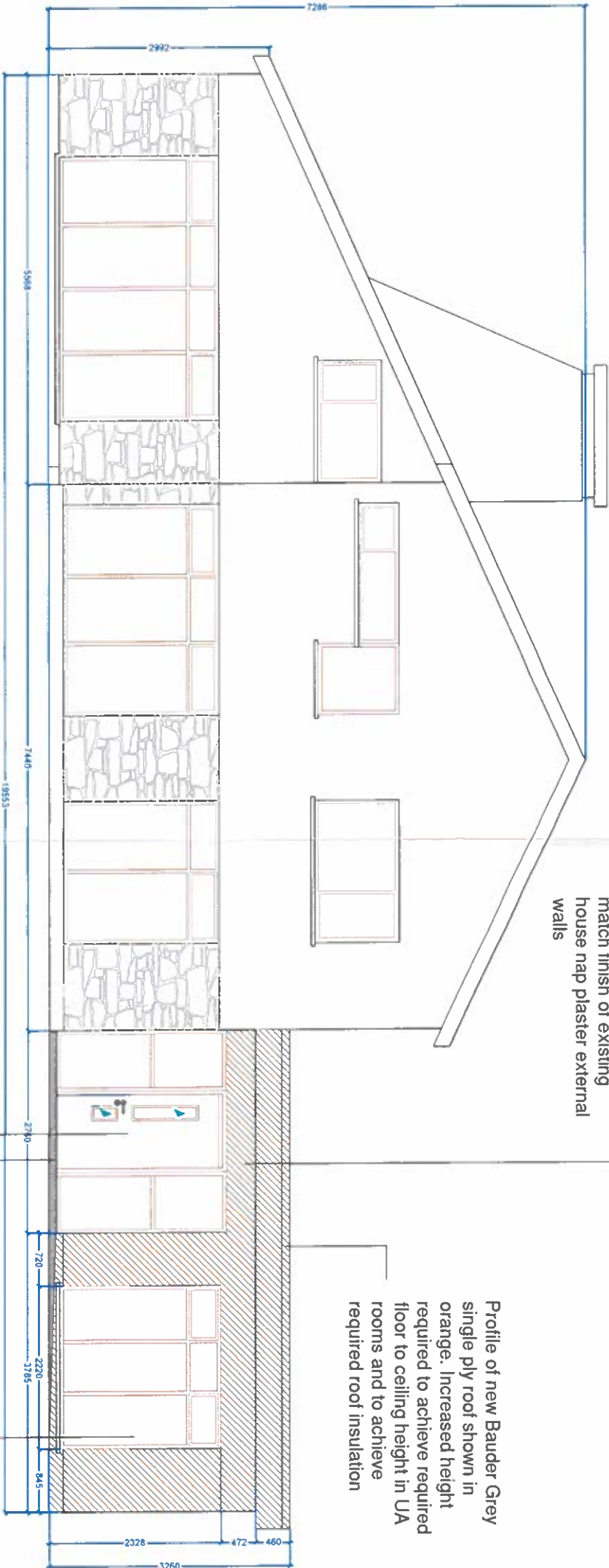
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately,</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		
CLIENT	Margaret Mary Gemma Holikamp									
DRAWING TITLE	Proposed First Floor Plan									
DRAWING NUMBER	009									
SCALE	1:75									
	DATE	Nov 2024						<div>DK Engineering</div> <div>Portlck</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>		

Existing garage to be converted into UA bedroom and bathroom



100mm external insulation to be fitted to UA external walls. New wall finish to match finish of existing house nap plaster external walls

Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berres, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	<div>DK Engineering</div> <div>Portllick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>
CLIENT	Margaret Mary Gemma Holikamp								
DRAWING TITLE	Proposed Front Elevation								
DRAWING NUMBER	010								
SCALE	1:75								
	DATE	Nov 2024							

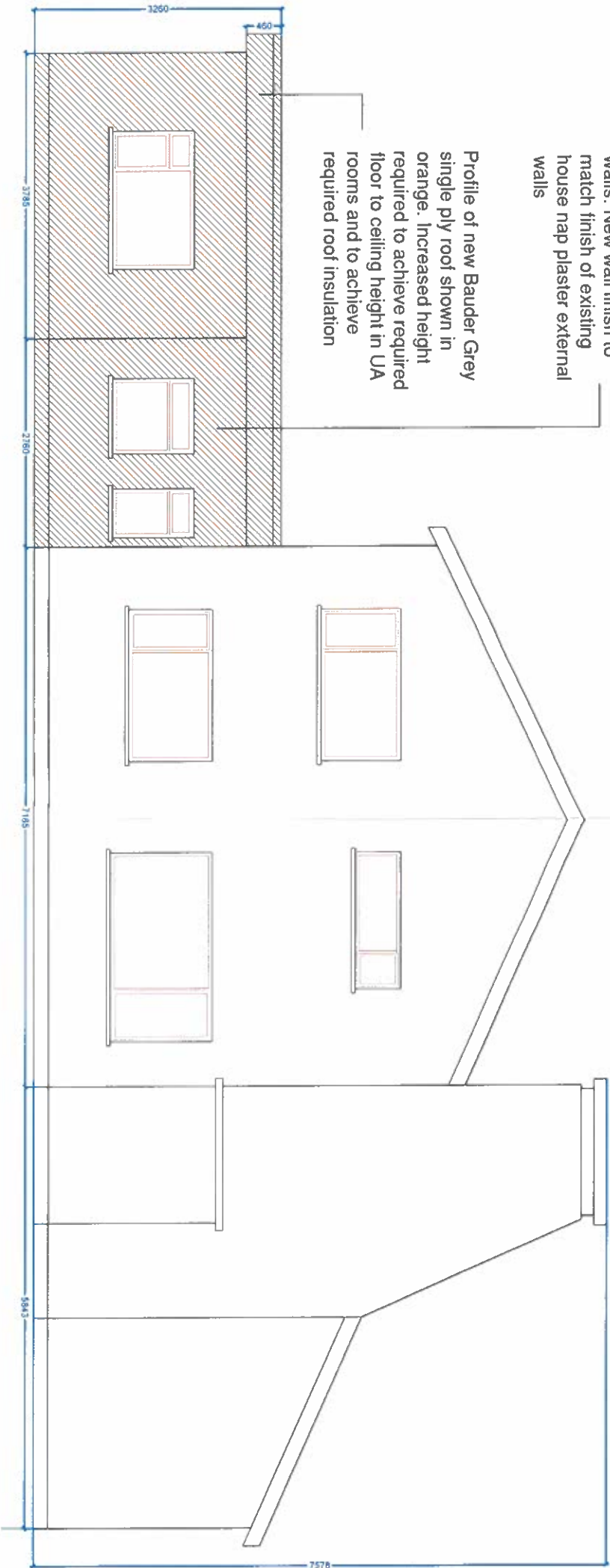


Existing garage to be converted into UA bedroom and bathroom

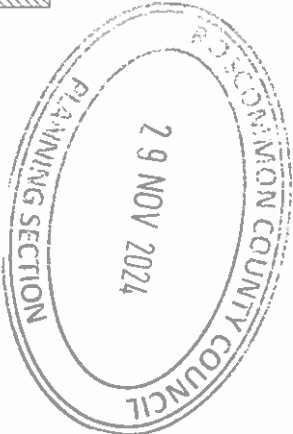


100mm external insulation to be fitted to UA external walls. New wall finish to match finish of existing house nap plaster external walls

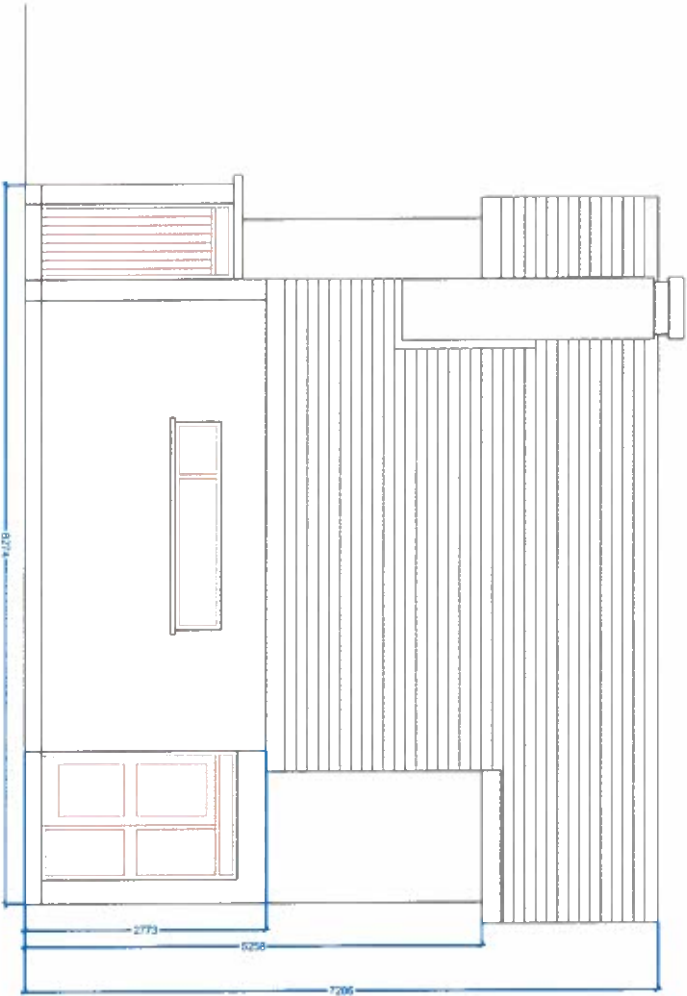
Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation



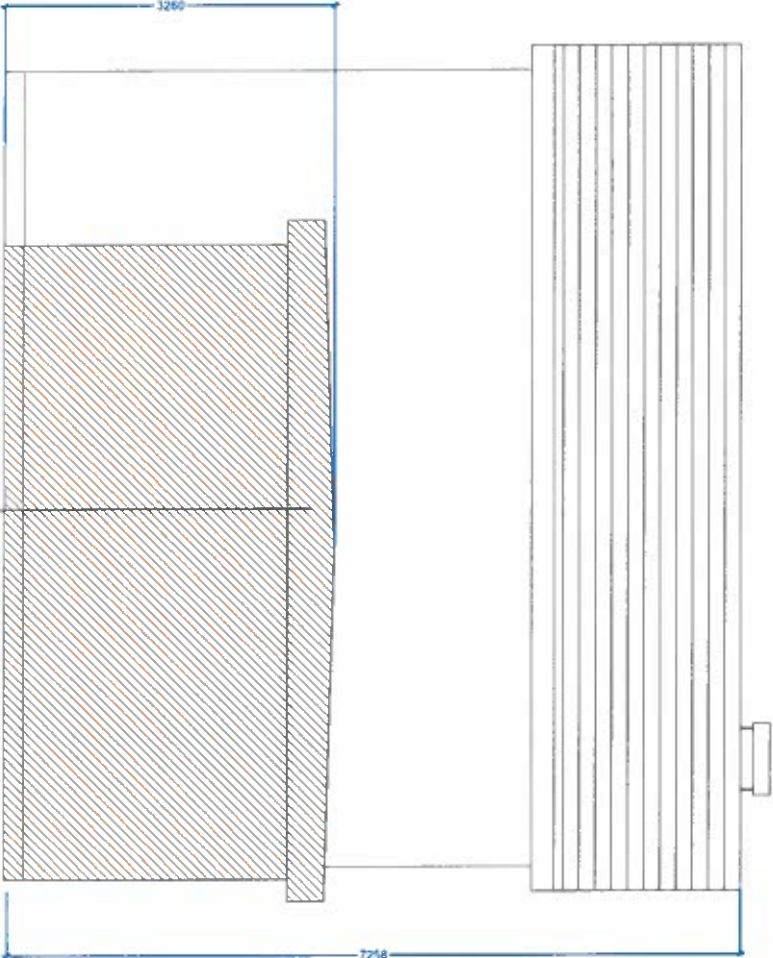
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		
CLIENT	Margaret Mary Gemma Holikamp									
DRAWING TITLE	Proposed Rear Elevation									
DRAWING NUMBER	011									
SCALE	1:75	DATE	Nov 2024					<div>DK Engineering</div> <div>Portllick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>		



Existing garage to be converted into UA bedroom and bathroom



Proposed West Elevation



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation

Proposed East Elevation

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berres, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	<div>DK Engineering</div> <div>Portlick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>
CLIENT	Margaret Mary Gemma Holikamp								
DRAWING TITLE	Proposed Side Elevations								
DRAWING NUMBER	012								
SCALE	1:75								
	DATE	Nov 2024							



New blockwork



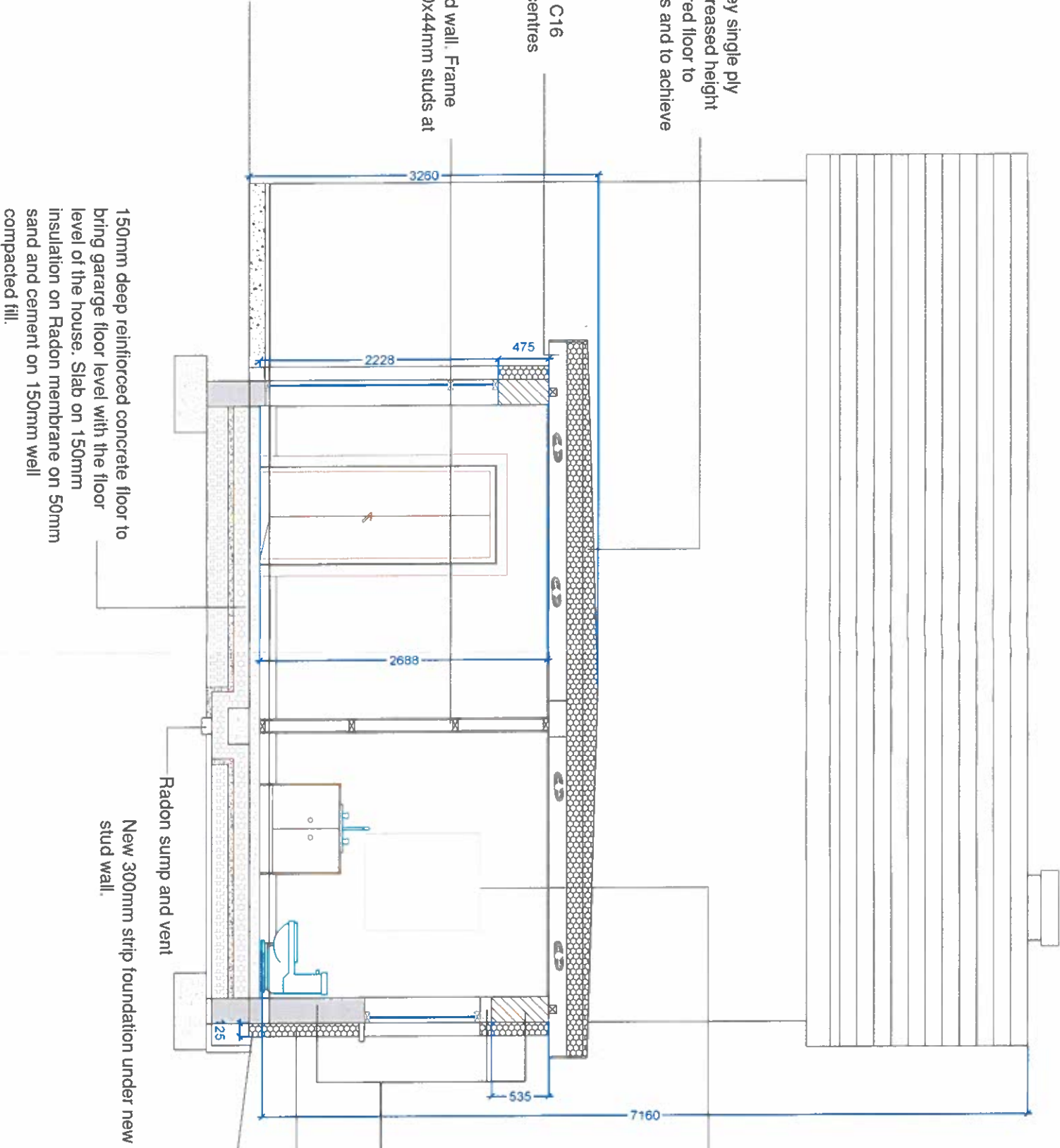
New insulation



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation

New warm deck roof with C16 170x44mm joists at 600 centres


New structural timber stud wall. Frame constructed with C16 100x44mm studs at 400mm centres



Existing Block walls to be retained shown in grey. Additional blockwork to achieve required ceiling height shown hatched in orange
New 100mm external insulation with finish to match nap plaster finish on existing house.

New 300mm strip foundation under new stud wall.

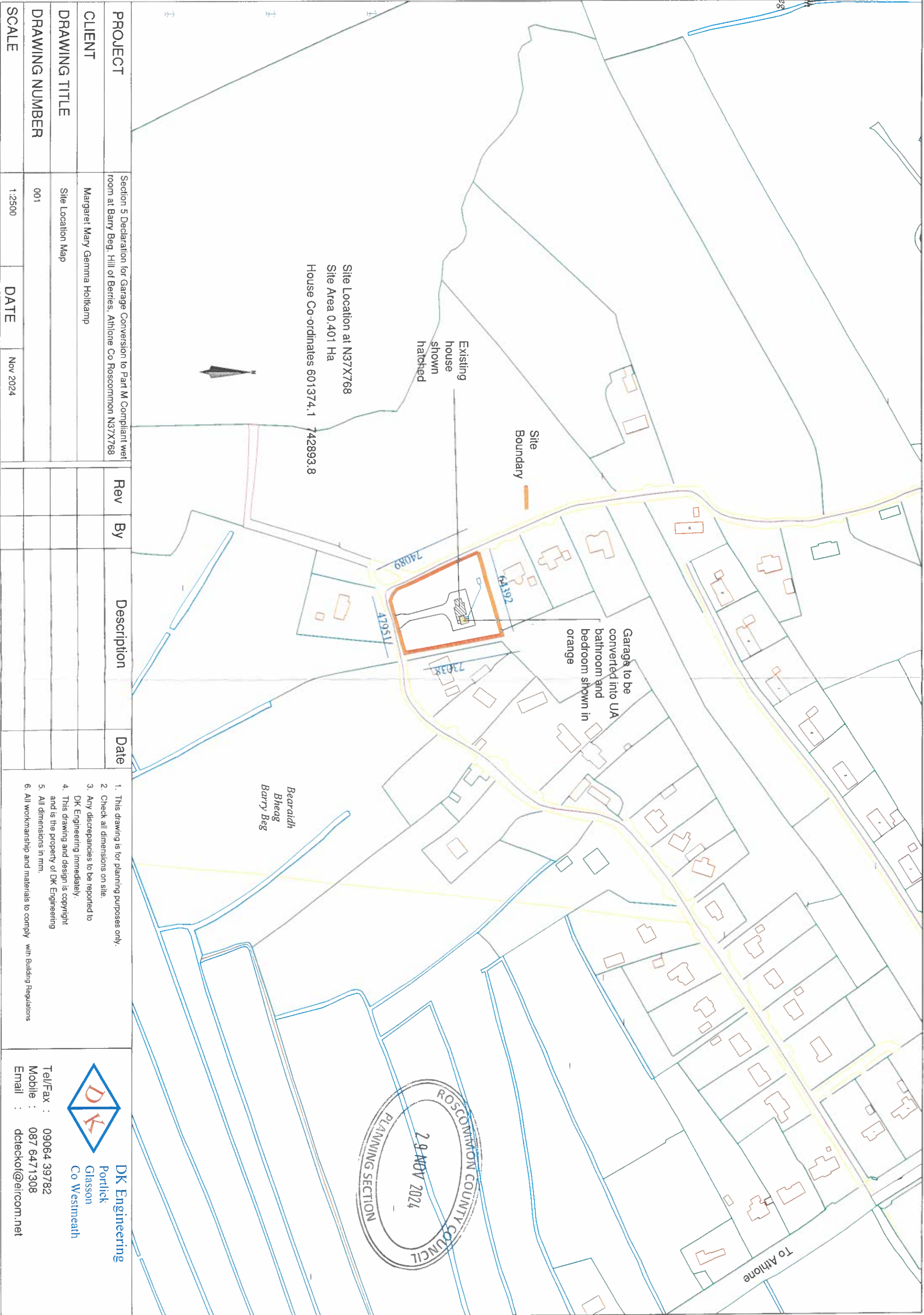
150mm deep reinforced concrete floor to bring garage floor level with the floor level of the house. Slab on 150mm insulation on Radon membrane on 50mm sand and cement on 150mm well compacted fill.

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>
CLIENT	Margaret Mary Gemma Holkamp							
DRAWING TITLE	Section Through Proposed UA Bedroom and Bathroom							
DRAWING NUMBER	013							
SCALE	1:50							
				DATE	Nov 2024			
<div><div><div><div>DK Engineering</div><div>Portlick</div><div>Glasson</div><div>Co Westmeath</div></div></div><div><div>Tel/Fax : 09064 39782</div><div>Mobile : 087 6471308</div><div>Email : dteckof@eircom.net</div></div></div>								



Index of Drawings

<u>Number</u>	<u>Document Title</u>
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002	Site Layout Map
003	Existing Ground Floor Plan
004	Existing First Floor Plan
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008	Proposed Ground Floor Plan
009	Proposed First Floor Plan
010	Proposed Front Elevation
011	Proposed Rear Elevation
012	Proposed Side Elevations
013	Section 1-1 Through Proposed UA Bedroom and Bathroom



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768		
CLIENT	Margaret Mary Gemma Hoikamp		
DRAWING TITLE	Site Location Map		
DRAWING NUMBER	001		
SCALE	1:2500	DATE	Nov 2024

Rev	By	Description	Date

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Mobile : 087 6471308
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PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holikamp						
DRAWING TITLE	Site Layout Map						
DRAWING NUMBER	002						
SCALE	1:500			DATE	Nov 2024		

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DK Engineering

Portllick

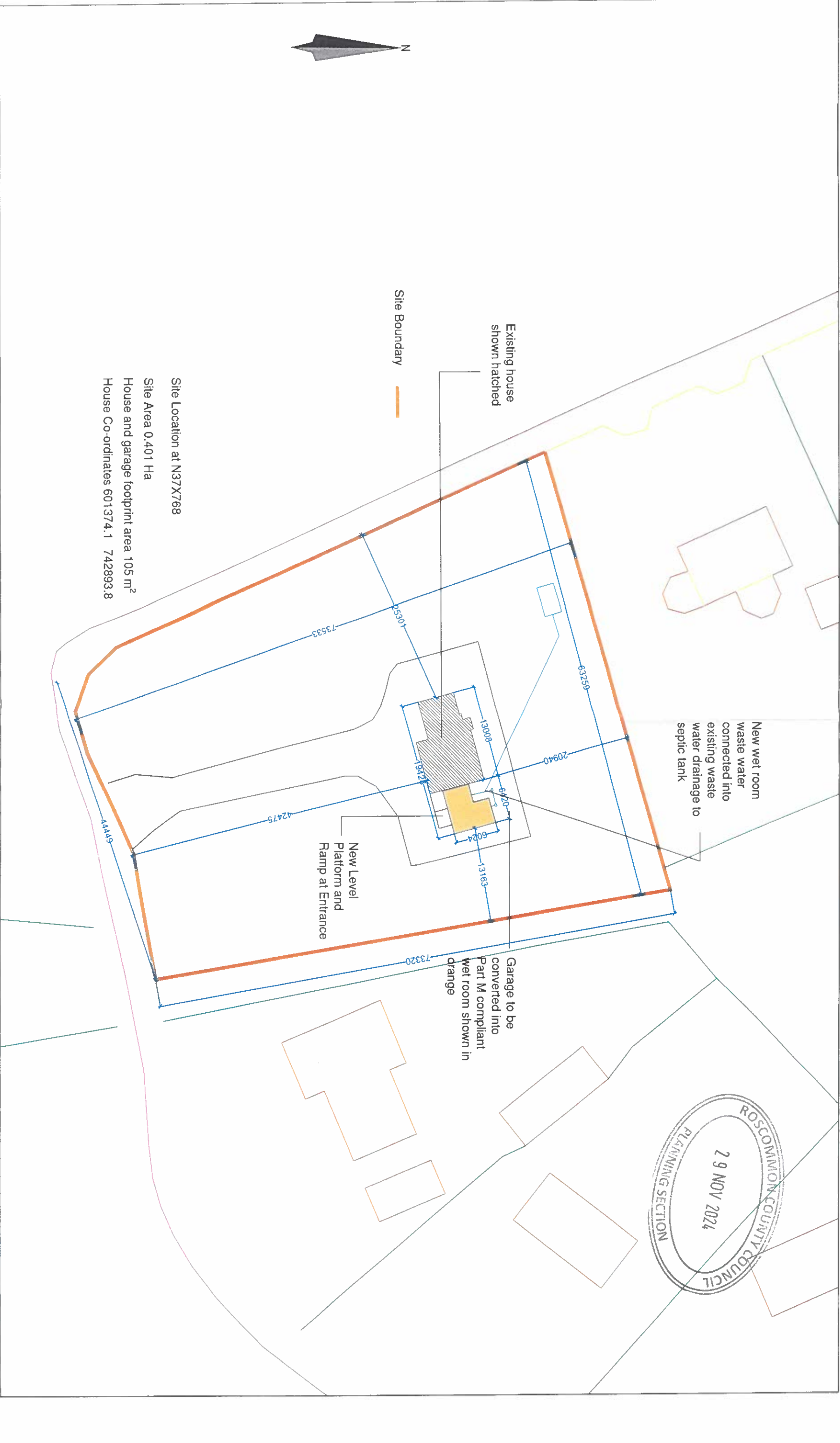
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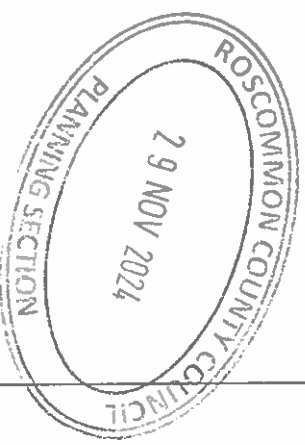
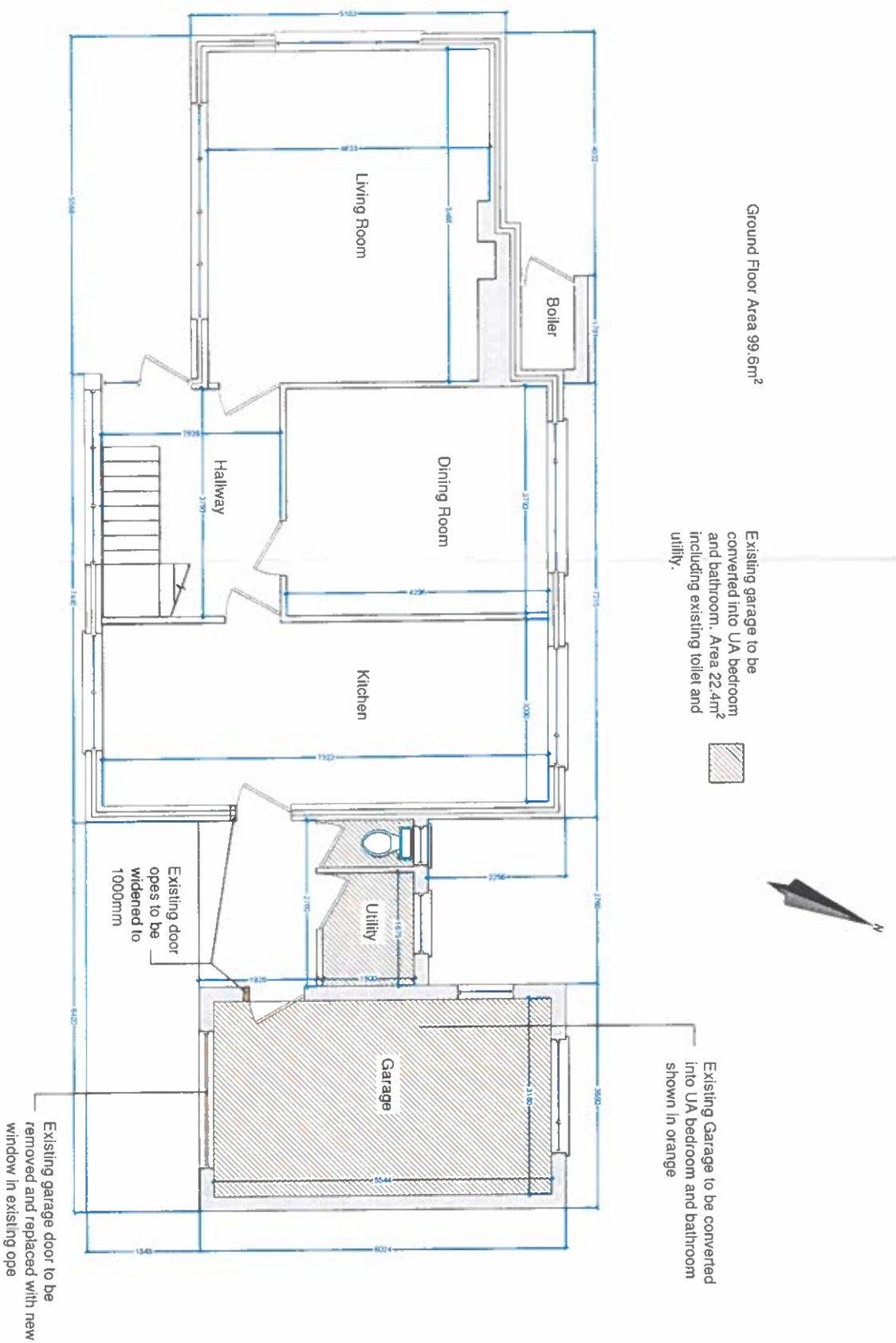
Co Westmeath


Tel/Fax : 09064 39782

Mobile : 087 6471308

Email : dcheckof@eircom.net

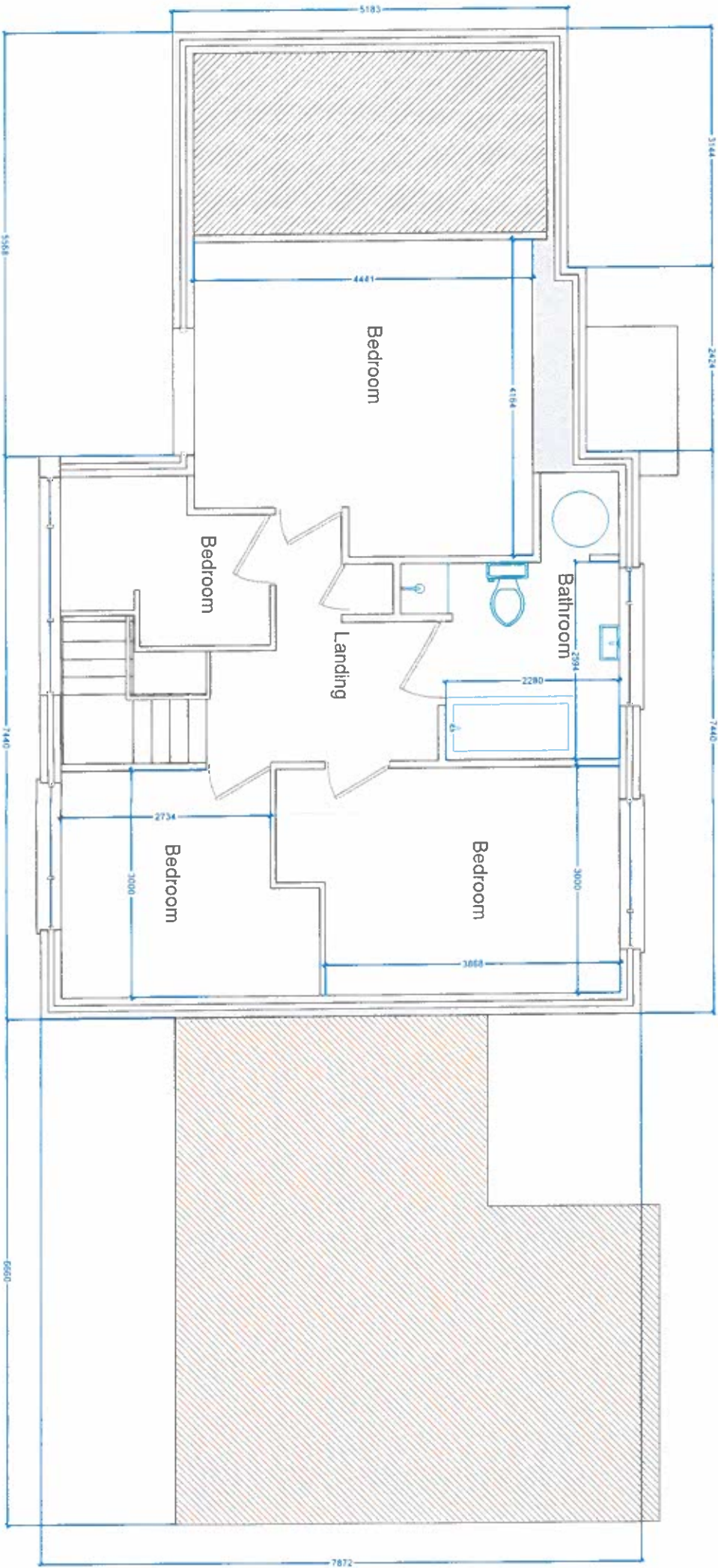





PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holkamp						
DRAWING TITLE	Existing Ground Floor Plan						
DRAWING NUMBER	003						
SCALE	1:75	DATE	Nov 2024				
				1. This drawing is for planning purposes only. 2. Check all dimensions on site. 3. Any discrepancies to be reported to DK Engineering immediately. 4. This drawing and design is copyright and is the property of DK Engineering 5. All dimensions in mm. 6. All workmanship and materials to comply with Building Regulations			
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Total area of first floor 64.6m²

Footprint of existing garage
to be converted into 3A
bedroom and bathroom



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holkamp						
DRAWING TITLE	Existing First Floor Plan						
DRAWING NUMBER	004						
SCALE	1:75	DATE	Nov 2024				
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Ground Floor Area 105m²

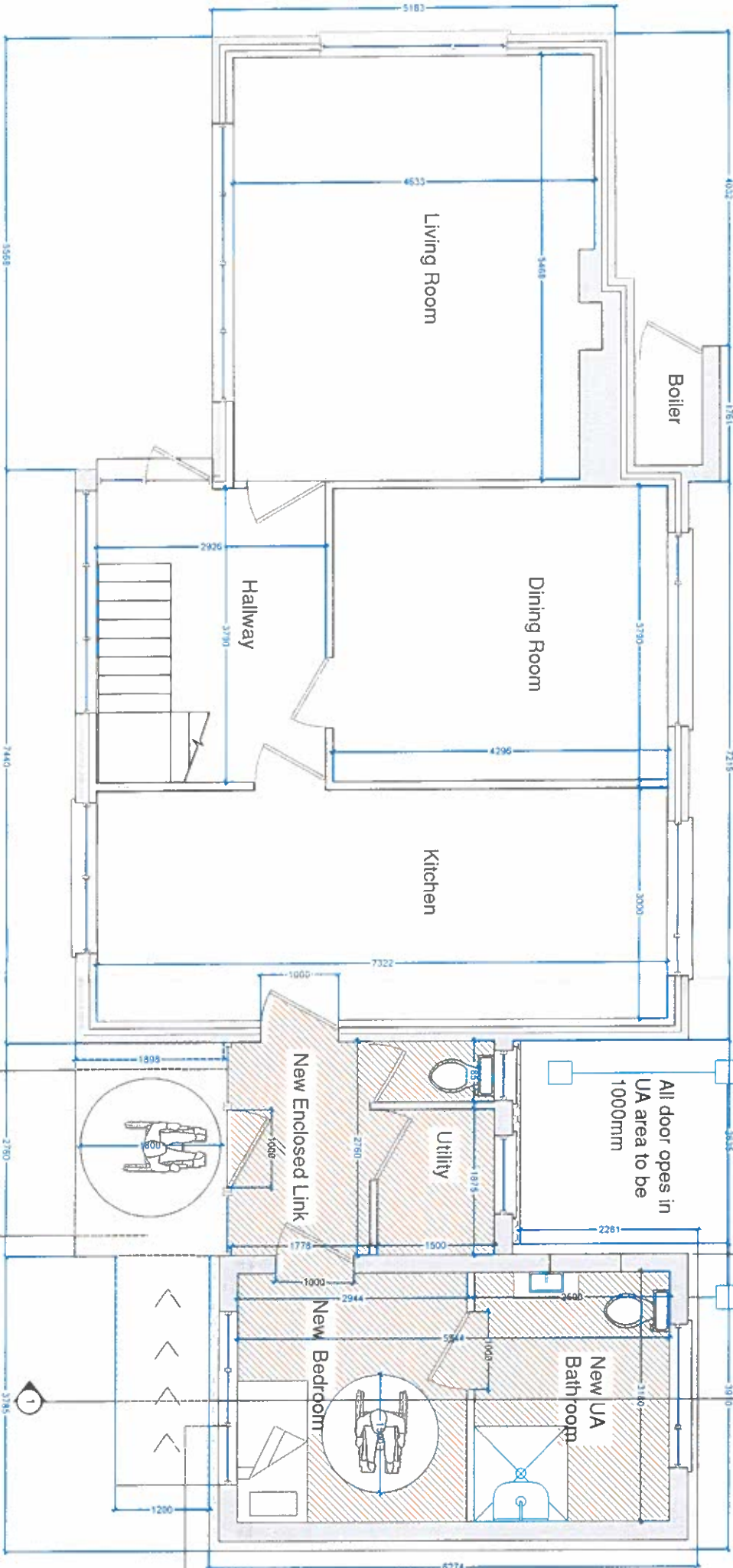
Existing garage to be converted into UA bedroom and bathroom. Total area 27.7 m², including new link and existing utility and toilet.



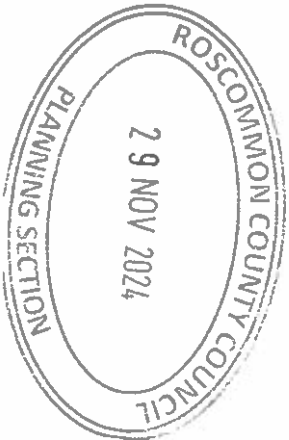
New 100mm external insulation with finish to match nap plaster finish on existing house.

Grab handles, rails and emergency call buttons in bathroom omitted from drawing for clarity. New waste water connect to existing waste water effluent via two new AJs. All waste to go to existing septic tank

All door opens in UA area to be 1000mm



New window in existing garage ope. New window to match existing windows in house



New window and door panel to match existing house windows. New glazed panel to create internal link from kitchen to new U A Bedroom.

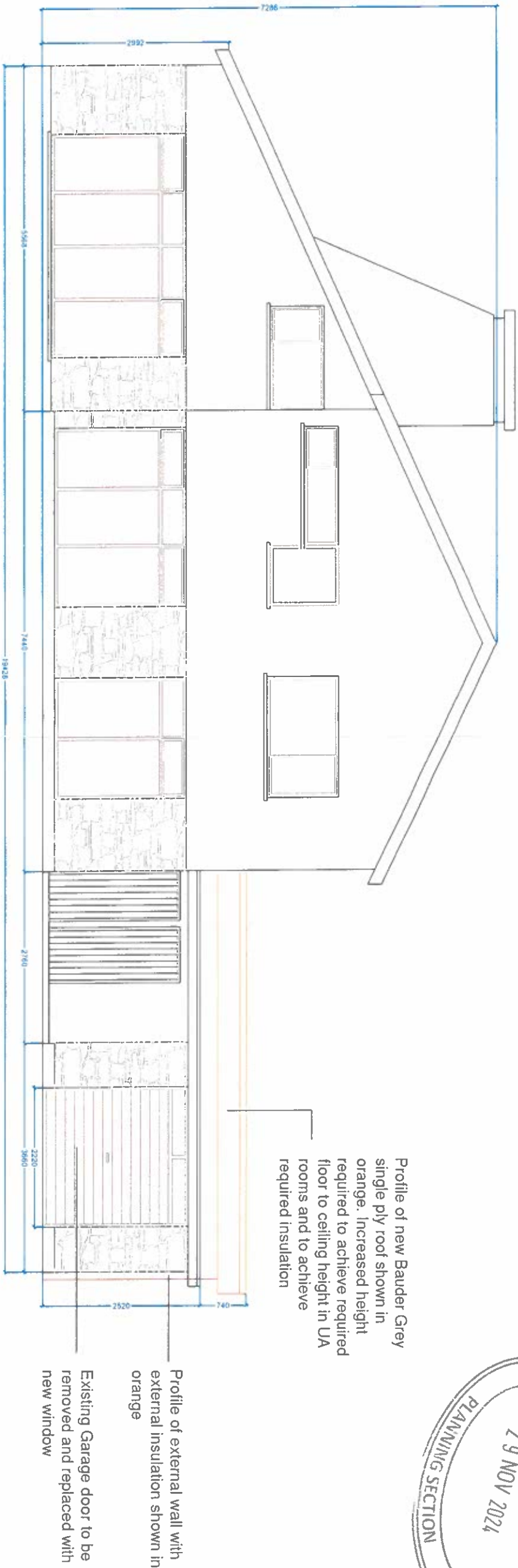
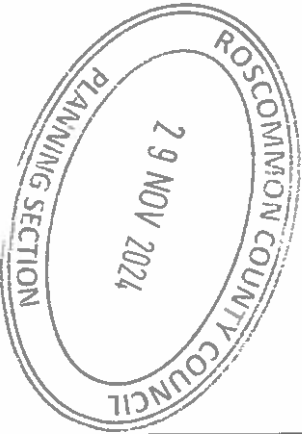
New concrete level platform and ramp shown in grey

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768	Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holtkamp				
DRAWING TITLE	Proposed Ground Floor Plan				
DRAWING NUMBER	008				
SCALE	1:75				
DATE	Nov 2024				

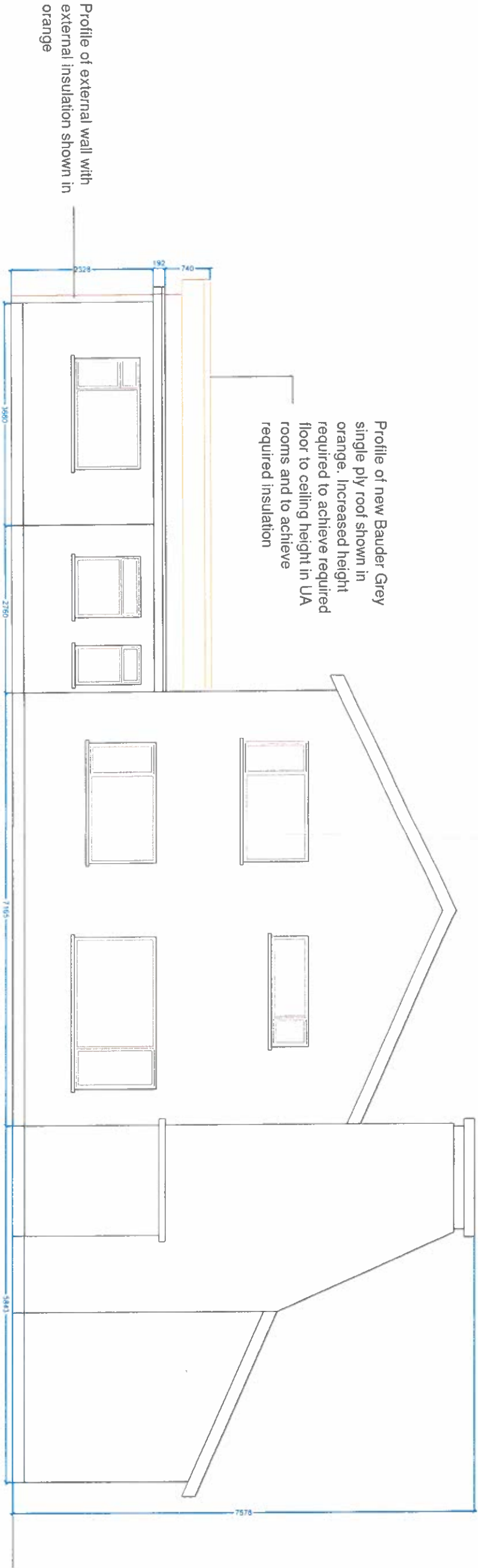
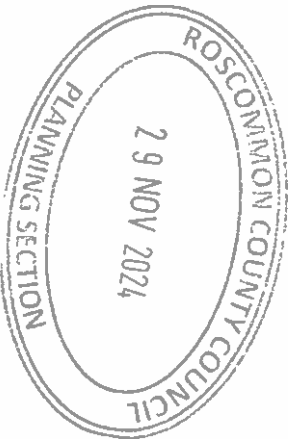
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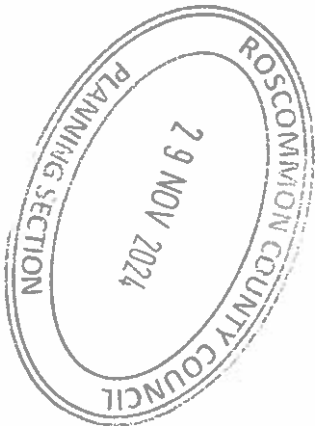
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Email : dteckof@eircom.net



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holtkamp						
DRAWING TITLE	Existing Front Elevation						
DRAWING NUMBER	005						
SCALE	1:75	DATE	Nov 2024				
				1. This drawing is for planning purposes only. 2. Check all dimensions on site. 3. Any discrepancies to be reported to DK Engineering immediately. 4. This drawing and design is copyright and is the property of DK Engineering 5. All dimensions in mm. 6. All workmanship and materials to comply with Building Regulations			
				<div><div>DK</div><div>DK Engineering Portlick Glasson Co Westmeath</div></div> <div>Tel/Fax : 09064 39782 Mobile : 087 6471308 Email : dcteckof@eircom.net</div>			



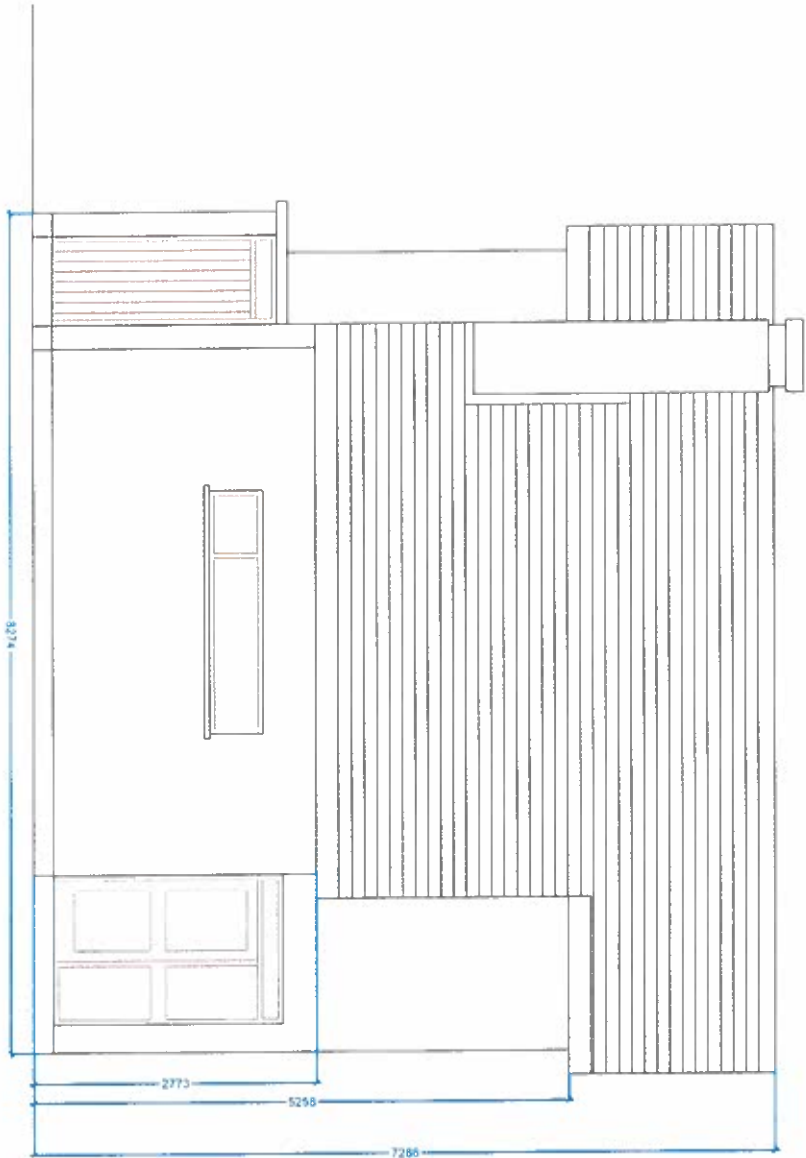
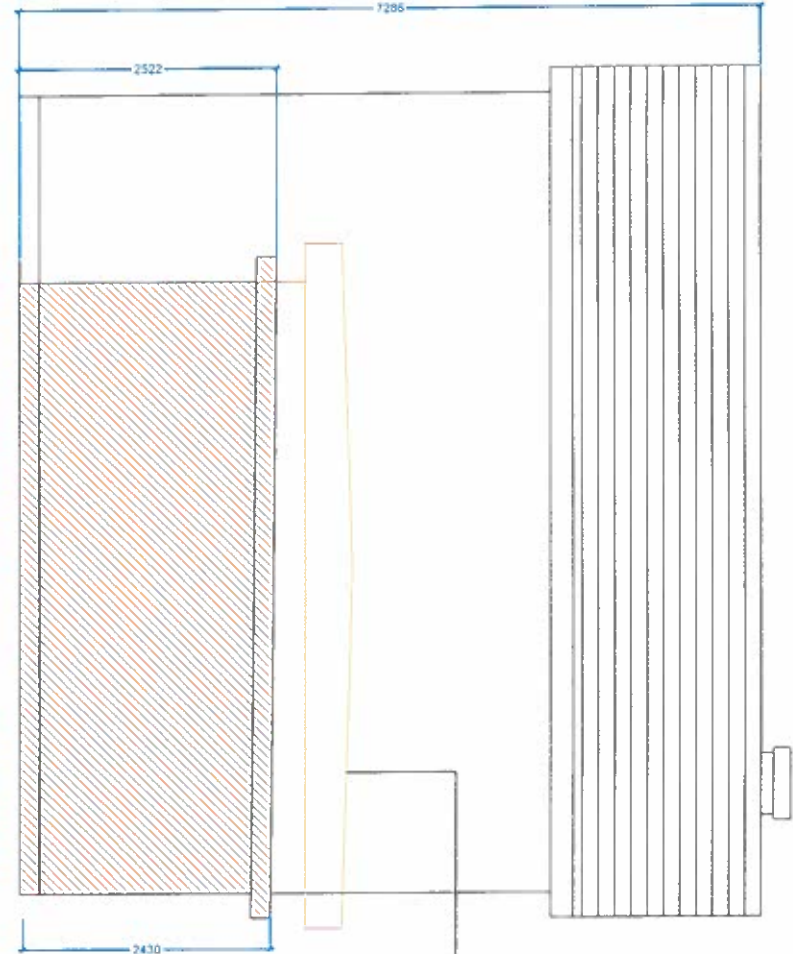
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Bary Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	<div>DK Engineering</div> <div>Portllick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : ddeckot@eircom.net</div>
CLIENT	Margaret Mary Gemma Holtkamp								
DRAWING TITLE	Existing Rear Elevation								
DRAWING NUMBER	006								
SCALE	1:75								
	DATE	Nov 2024							



Existing garage to be converted into UA bedroom and bathroom



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required insulation



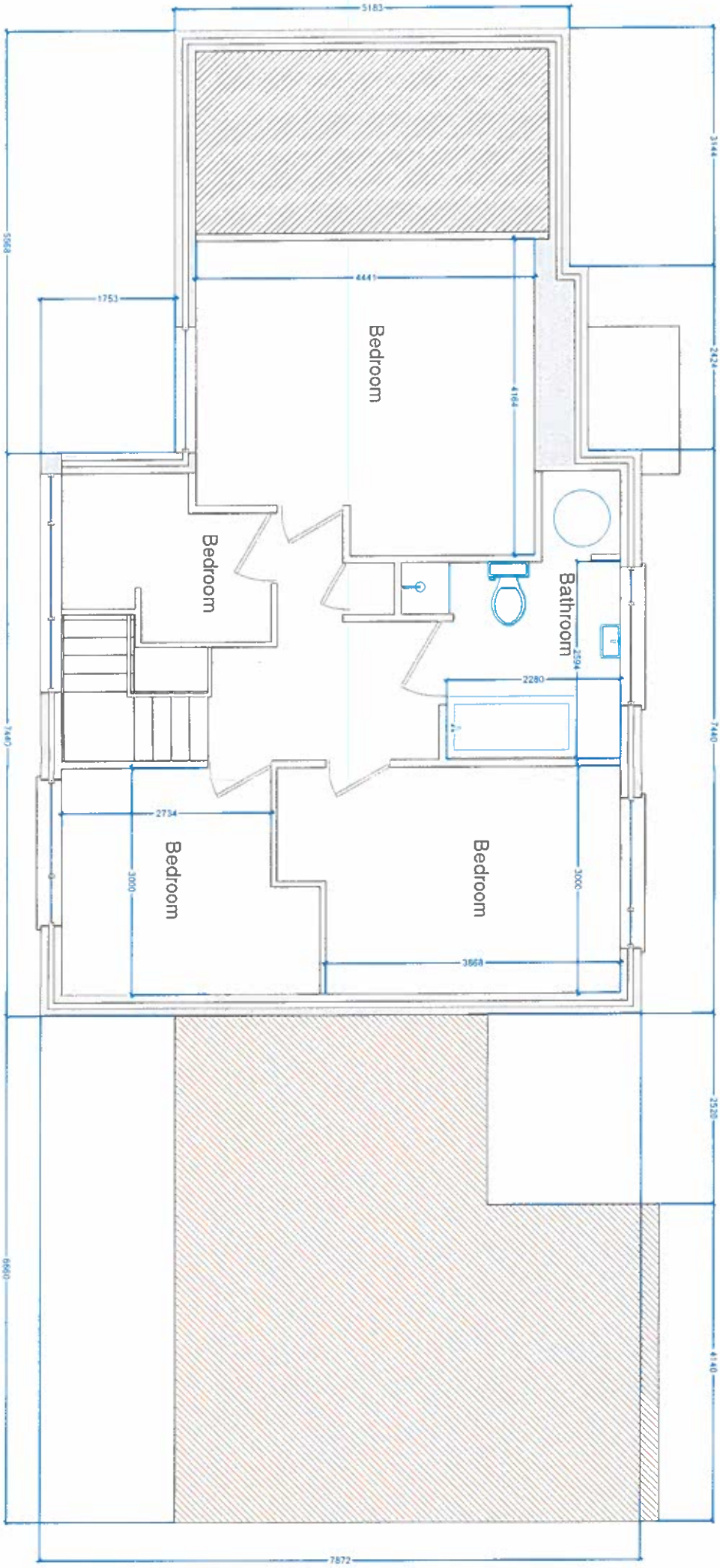
Existing West Elevation


Existing East Elevation

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	
CLIENT	Margaret Mary Gemma Holkamp								
DRAWING TITLE	Existing Side Elevations								
DRAWING NUMBER	007								
SCALE	1:75								
	DATE	Nov 2024						<div>DK Engineering</div> <div>Portllick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>	

Total area of first floor 64.6m²

Footprint of existing garage
to be converted into UA
bedroom and bathroom



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant well room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date	<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering Immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>	<div><div>DK Engineering Portllick Glasson Co Westmeath</div></div> <div>Tel/Fax : 09064 39782 Mobile : 087 6471308 Email : dteckof@eircom.net</div>
CLIENT	Margaret Mary Gemma Holikamp								
DRAWING TITLE	Proposed First Floor Plan								
DRAWING NUMBER	009								
SCALE	1:75								
	DATE	Nov 2024							

Existing garage to be converted into U A bedroom and bathroom



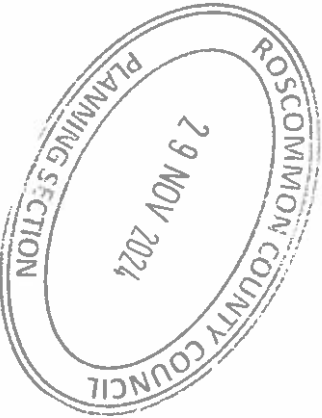
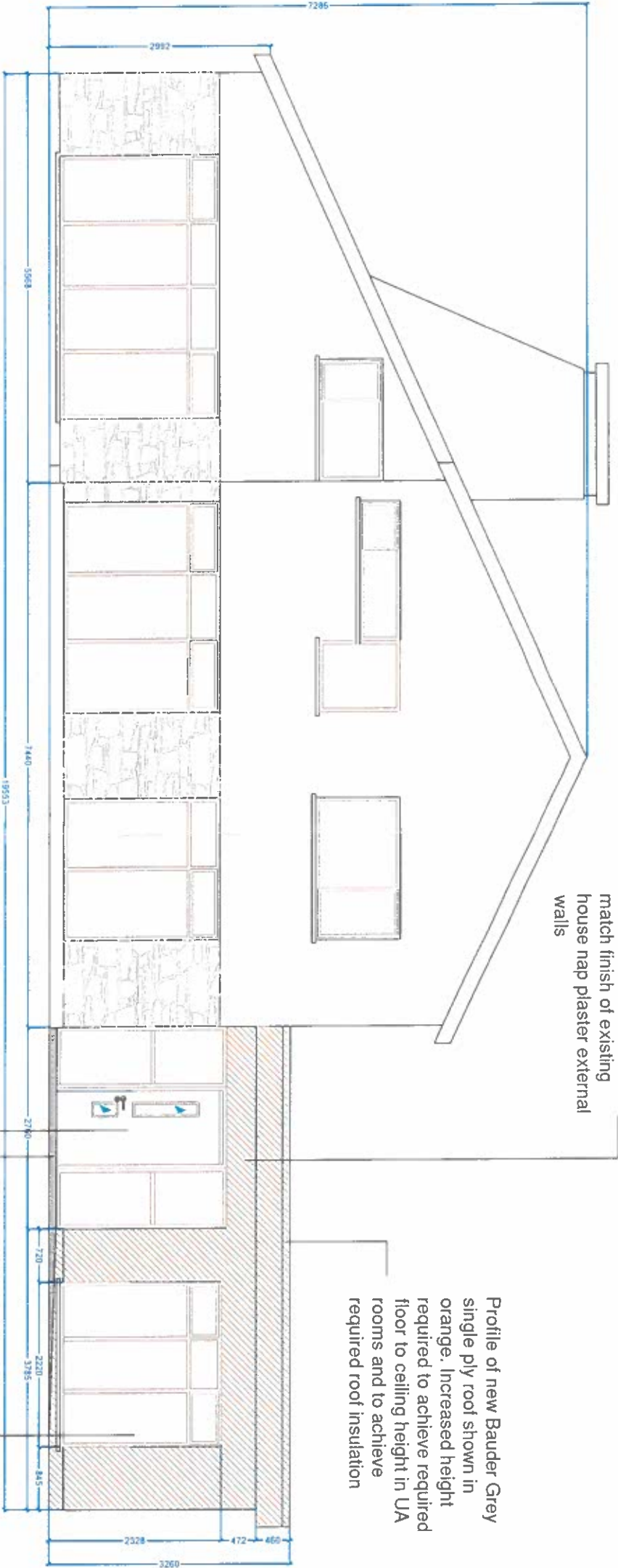
100mm external insulation to be fitted to U A external walls. New wall finish to match finish of existing house nap plaster external walls

Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in U A rooms and to achieve required roof insulation

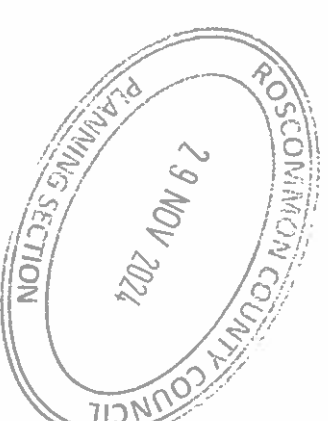
New window and door panel to match existing house windows. New glazed panel to create internal link from kitchen to new U A Bedroom.

New concrete level platform and ramp shown in grey

New window in existing garage ope. New window to match existing windows in house



PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N87X768			Rev	By	Description	Date	<div>1 This drawing is for planning purposes only</div> <div>2 Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately</div> <div>4 This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>		
CLIENT	Margaret Mary Gemma Holtkamp									
DRAWING TITLE	Proposed Front Elevation									
DRAWING NUMBER	010									
SCALE	1:75	DATE	Nov 2024					<div>DK Engineering</div> <div>Portllick</div> <div>Glaslon</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dcheckof@eircom.net</div>		

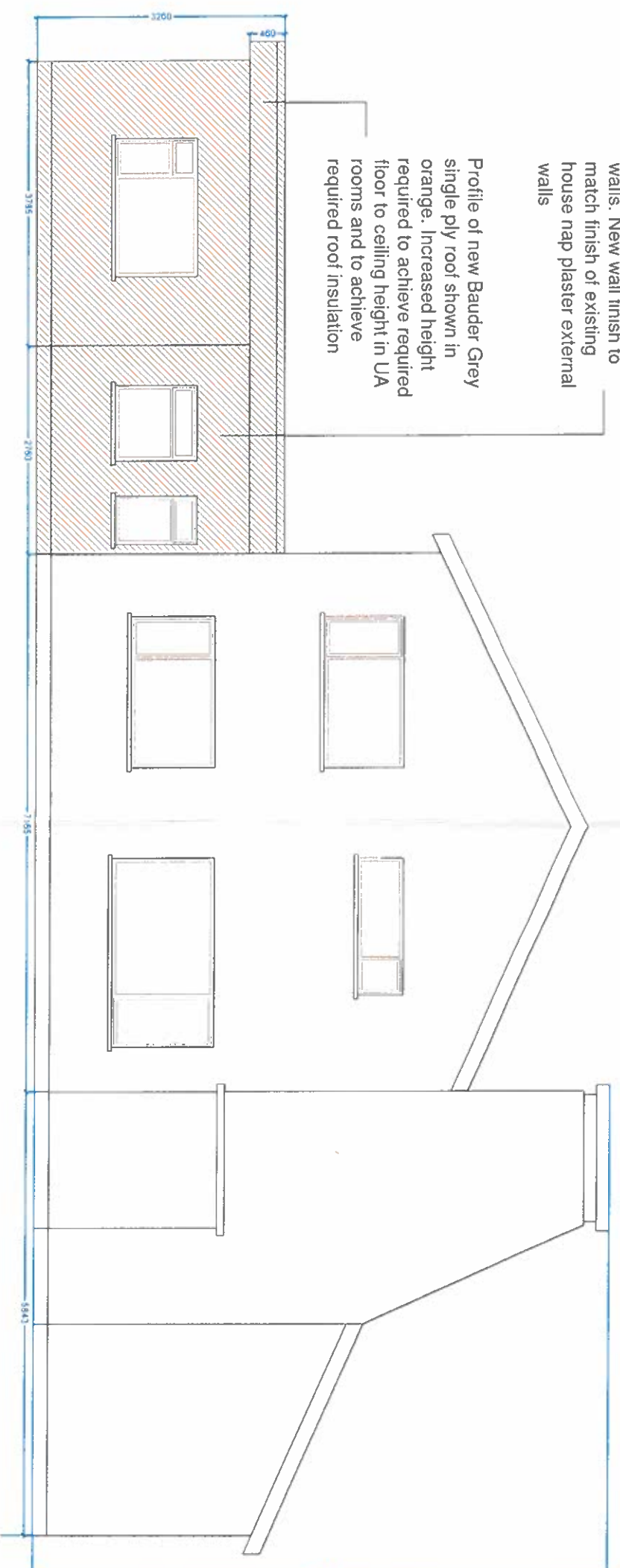



Existing garage to be converted into UA bedroom and bathroom

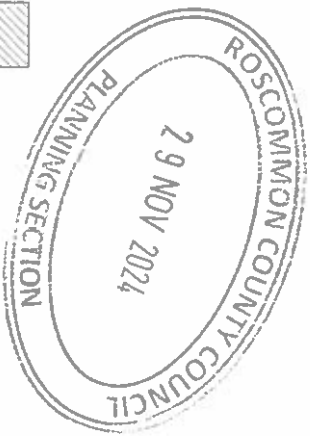


100mm external insulation to be fitted to UA external walls. New wall finish to match finish of existing house nap plaster external walls

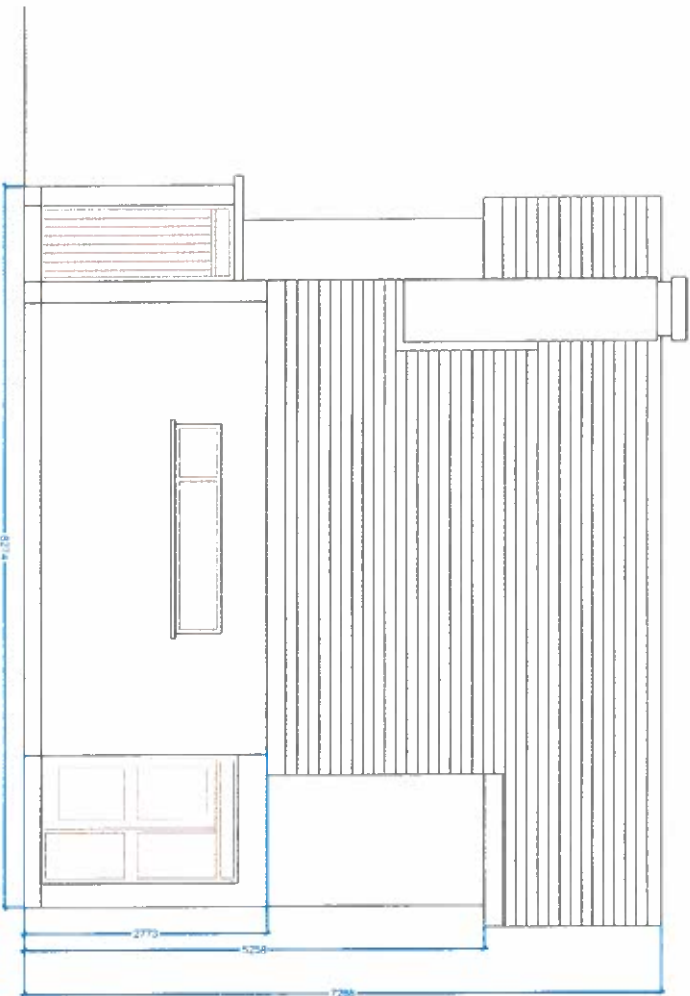
Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation



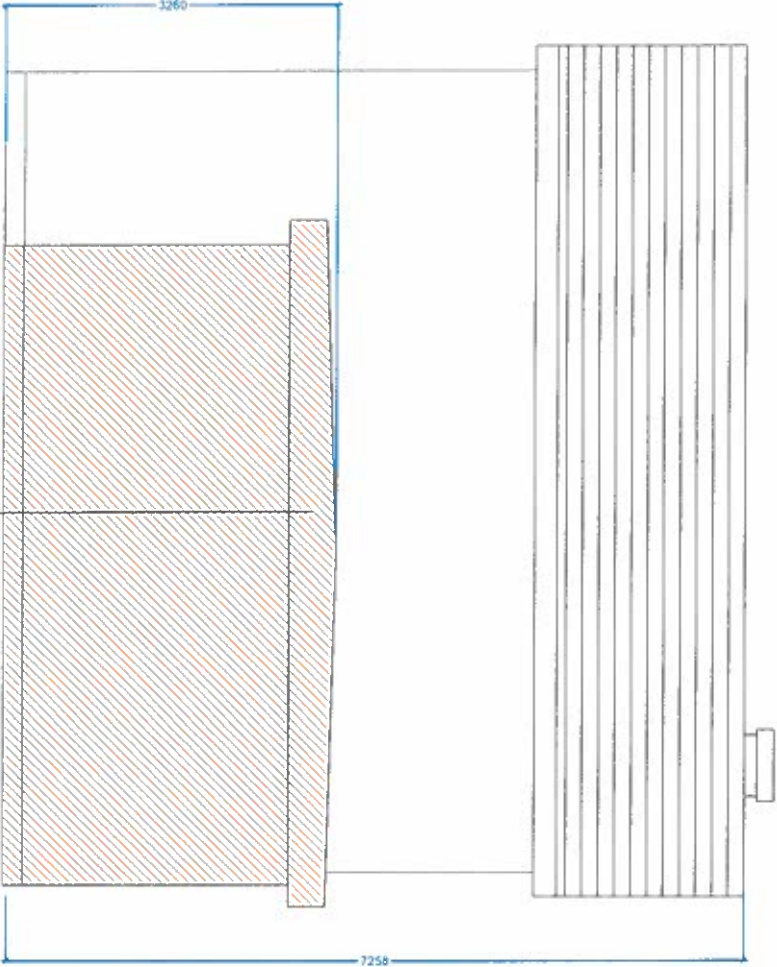
PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768		
CLIENT	Margaret Mary Gemma Holtkamp		
DRAWING TITLE	Proposed Rear Elevation		
DRAWING NUMBER	011		
SCALE	1:75	DATE	Nov 2024
Rev	By	Description	Date
<div>1. This drawing is for planning purposes only.</div> <div>2. Check all dimensions on site.</div> <div>3. Any discrepancies to be reported to DK Engineering immediately.</div> <div>4. This drawing and design is copyright and is the property of DK Engineering</div> <div>5. All dimensions in mm.</div> <div>6. All workmanship and materials to comply with Building Regulations</div>			
<div><div></div><div><div>DK Engineering</div><div>Portlick</div><div>Glasson</div><div>Co Westmeath</div></div></div> <div><div>Tel/Fax : 09064 39782</div><div>Mobile : 087 6471308</div><div>Email : dctechof@eircom.net</div></div>			



Existing garage to be converted into UA bedroom and bathroom



Proposed West Elevation



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation

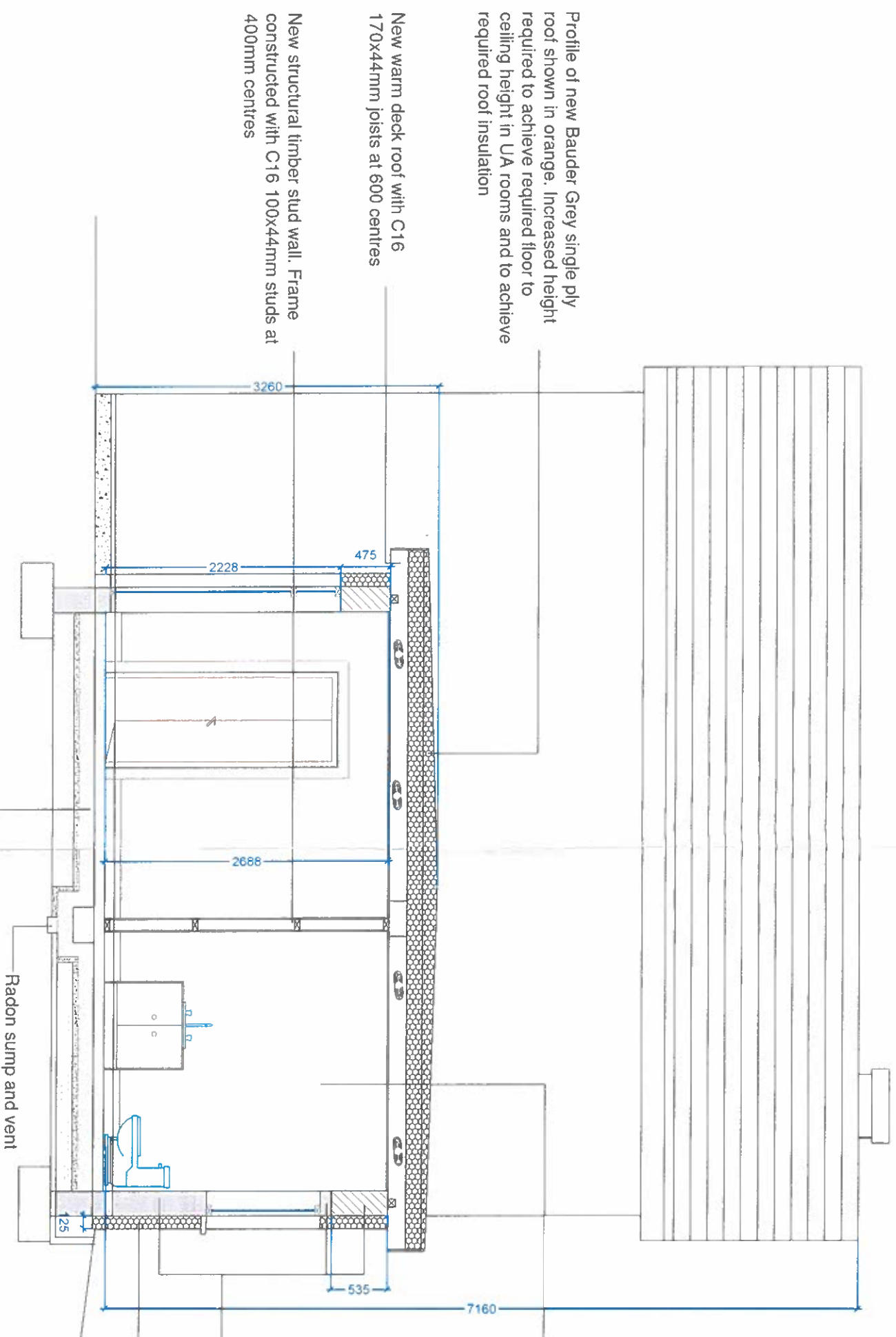
Proposed East Elevation

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768			Rev	By	Description	Date
CLIENT	Margaret Mary Gemma Holtkamp						
DRAWING TITLE	Proposed Side Elevations						
DRAWING NUMBER	012						
SCALE	1:75	DATE	Nov 2024				
				1. This drawing is for planning purposes only.			
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				4. This drawing and design is copyright and is the property of DK Engineering			
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				<div>DK Engineering</div> <div>Portlick</div> <div>Glasson</div> <div>Co Westmeath</div> <div>Tel/Fax : 09064 39782</div> <div>Mobile : 087 6471308</div> <div>Email : dteckof@eircom.net</div>			

New blockwork



New insulation



Profile of new Bauder Grey single ply roof shown in orange. Increased height required to achieve required floor to ceiling height in UA rooms and to achieve required roof insulation

New structural timber stud wall. Frame constructed with C16 100x44mm studs at 400mm centres

150mm deep reinforced concrete floor to bring garage floor level with the floor level of the house. Slab on 150mm insulation on Radon membrane on 50mm sand and cement on 150mm well compacted fill.

Existing
window
blocked to be
blocked up

Existing Block walls to be retained shown in grey. Additional blockwork to achieve required ceiling height shown hatched in orange

New 100mm external insulation with finish to match nap plaster finish on existing house.

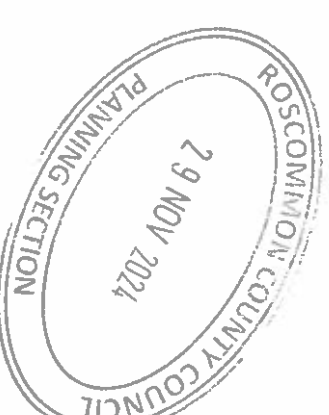
New 300mm strip foundation under new stud wall.

Radon sump and vent

PROJECT	Section 5 Declaration for Garage Conversion to Part M Compliant wet room at Barry Beg, Hill of Berries, Athlone Co Roscommon N37X768		
CLIENT	Margaret Mary Gemma Holikamp		
DRAWING TITLE	Section Through Proposed UA Bedroom and Bathroom		
DRAWING NUMBER	013		
SCALE	1:50	DATE	Nov 2024

[illegible]

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Portlick
Glasson
Co Westmeath

Tel/Fax : 09064 39782
Mobile : 087 6471308
Email : dcteckof@eircom.net