

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Angela Adcock,

Reference Number: DED 782
Application Received: 14th October 2024
Name of Applicant: Angela Adcock
Agent: Simon Beale & Associates

WHEREAS a question has arisen as to whether the demolishing of an existing extension, the construction of a new extension & the refurbishment of an existing dwelling at Willsbrook Td, Castlerea, Co. Roscommon, F45 X018, is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended.
- (c) Class 1 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended.
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The works outlined above are development.
- (b) The proposed extension to the rear of a dwelling house as described in this case is an exempted development.
- (c) The proposed demolition of the existing extension to the rear of the dwelling as described in this case is an exempted development.
- (d) The proposed to refurbish dwelling as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:
development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;
- (e) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to demolish an existing extension, construct a new extension & refurbish an existing dwelling at Willsbrook Td, Castlerea, Co. Roscommon, F45 X018., is development that is **exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 2nd December 2024

cc agent via email: Simon Beale & Associates
info@sbassociates.ie

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

Carmel Curley

From: Carmel Curley
Sent: Tuesday 3 December 2024 10:00
To: info@sbassociates.ie
Subject: DED782 - Notification of Decision
Attachments: DED782 - Notification of Decision.pdf

A Chara,

Please find attached Notification of Decision for DED Application 782.

Regards,

Carmel

**Carmel Curley, Assistant Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98
☎: (090) 6637100**

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION



**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

Reference Number:	DED 782
Re:	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding exempted development of permission to demolish existing extension, construct new extension & refurbish dwelling.
Name of Applicant:	Angela Adcock
Location of Development:	Willsbrook, Castlerea, Co. Roscommon. (F45 XO18)
Site Visit:	28/11/2024

WHEREAS a question has arisen as to whether the following works; to demolish existing extension, construct new extension & refurbish dwelling at the above address is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 1 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

Site Location & Development Description

The subject site is located in Willsbrook, Castlerea, Co. Roscommon and is accessed off the L-6507 road. The subject site contains a single story detached dwelling house with a flat roof extension to the rear.

The proposed works is the demolition of an existing extension to the rear and construction of a new extension to the rear of the dwelling, re-furbish the house which includes re-roofing and an additional roof light to the rear, new doors and windows, backing up of a door to the side elevation and the creation of a new double door to the rear and various internal modifications. It was clear on the site inspection that these works have largely been completed with some finishing work to be completed.

There are no European designated sites in, adjoining or in close proximity to the subject site. There is no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS.

Archaeological and Cultural Heritage

No RMP recorded in the likely zone of influence of the development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the development.

Appropriate Assessment

The closest European site to the site of the development is Corliskea/Trien/Cloonfelliv Bog PNHA/SAC (Site Code 002110/002110) which is located circa 1.5km to the south and west of the subject site.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

Planning History

As per the Roscommon County Council's Planning Registry, recent planning history has been traced relating to the subject site.

- 04/2581 - To demolish a dwelling, to construct 2 number dwellings, 2 number septic tanks with percolation areas and other associated site works - Withdrawn
- 23/172 - Permission for a static caravan to be placed on the driveway to the right of the property at F45 XO18 whilst essential renovations are being carried out on the above property – Incomplete Application
- 23/246 - Permission for a static caravan to be placed on the driveway to the right of the property whilst essential renovations are being carried out on the property - Incomplete Application
- 23/330 - Retention permission for a static caravan to be placed on the driveway to the right of the property whilst essential renovations are being carried out – Deemed Withdrawn
- 24/60125 - Permission for the decommissioning of an existing septic tank and the installation of a new wastewater treatment system and percolation area, together with all ancillary site work - Conditional

Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2. -(1)

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3. -(1)

In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1) of the Act defines certain types of development as being 'exempted development'. Of potential relevance is section 4(1)(h) which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 as amended

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9 (1) applies:

Development to which article 6 relates shall not be exempted development for the purposes of the Act

viiB) comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

Class 1 of Part 1 of Schedule 2: Exempted development - General

Description of Development	Conditions and Limitations
<p><i>Development within the curtilage of a house</i></p> <p>CLASS 1</p> <p>The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</p>	<p>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</p> <p>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</p> <p>3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</p> <p>4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</p> <p>(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</p> <p>(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or</p>

	<p>parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</p> <p>5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</p> <p>6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces. (b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces. 388 (c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p> <p>7. The roof of any extension shall not be used as a balcony or roof garden.</p>
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Class 50 of Part 1 of Schedule 2: Exempted development - General

Description of Development	Conditions and Limitations
<p>CLASS 50</p> <p>(a) The demolition of a building, or buildings, within the curtilage of— (i) a house, (ii) an industrial building, (iii) a business premises, or (iv) a farmyard complex.</p> <p>(b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act.</p>	<p>1. No such building or buildings shall abut on another building in separate ownership.</p> <p>2. The cumulative floor area of any such building, or buildings, shall not exceed: (a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and (b) in all other cases, 100 square metres.</p> <p>3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.</p>

Assessment:

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said works constitute development, as defined in Section 3 of the said Act.

The proposed development of an extension to the rear of a dwelling house which, it is stated as having floor space of 14.486m².

With regard to the compliance with the conditions and limitations of Class 1 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. a. Proposed work is stated as 14.486m².
b. Proposed extension is on ground floor only, therefore N/A.
c. Proposed work is only on ground floor level.
2. Dwelling has not had a previous extension therefore N/A.
3. Proposed work is only on ground floor level.
4. a. Rear wall does not exceed this height.
b. Rear wall does not exceed this height.
c. Roof height of extension is not higher than the existing house.
5. Extension does not reduce the open space to less than 25m²
6. a. Windows are greater than 1m from the boundary it faces.
b. Proposed work is only on ground floor level.
c. Proposed work is only on ground floor level.
7. Existing house is single story and no access is indicated.

Having reviewed the existing works in the context of the Conditions and Limitations associated with Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the extension to rear of a dwelling house as described in this case is considered an exempted development.

The proposed development of the demolition of the extension to the rear of the dwelling, with regard to the compliance with the conditions and limitations of Class 50 of Part 1 of Schedule 2 (Exempted development - General) the following assessment sets out how these apply to the current proposal:

1. This area is not a standalone structure and therefore in ownership of the property.
2. The existing extension for demolition which forms part of the dwelling house is stated as 11.475m².

Having reviewed the existing works in the context of the Conditions and Limitations associated with Class 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001, as amended, the demolition of existing extension to the rear of the dwelling as described in this case is considered an exempted development.

The proposal includes refurbishment of existing dwelling. These works have considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The proposed works are deemed an exempt development.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

WHEREAS a question has arisen as to demolish existing extension, construct new extension & refurbish dwelling in Willsbrook, Castlerea, Co. Roscommon, is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) Class 1 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (Exempt Development – General), as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (e) The planning history of the site

AND WHEREAS I have concluded that

- The works outlined above are development.
- The proposed extension to the rear of a dwelling house as described in this case is an exempted development.
- The proposed demolition of the existing extension to the rear of the dwelling as described in this case is an exempted development.
- The proposed to refurbish dwelling as above fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended, which provides as follows:

development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

AND WHEREAS I have concluded that the said development to demolish existing extension, construct new extension & refurbish dwelling in Willsbrook, Castlerea, Co. Roscommon is an exempted development. I recommend that a declaration to that effect should be issued to the applicant.



Signed:

Date: 29th November 2024

Civil Technician



Signed:

Date: 29th November 2024

Senior Executive Planner









Comhairle Contae
Ros Comáin
Roscommon
County Council



Angela Adcock,



Date: 15th October 2024

Planning Reference: DED 782

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission to demolish existing extension, construct new extension & refurbish dwelling under the Planning & Development Act (Exempt Development) Regulations 2018 at Willsbrook Td, Castlerea, Co. Roscommon, F45 X018

A Chara,

I wish to acknowledge receipt of your application which was received on the 14th October 2024, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. **L01/0/231036** dated 14th October 2024, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 782**.
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell
Senior Executive Planner,
Planning Department.

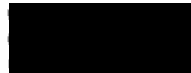
cc agent via email: **Simon Beale & Associates**
info@sbassociates.ie

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

14/10/2024 14:03:44

Receipt No: L01/0/231036

ANGELA ADCOCK



PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED 782	

Total: 80.00 EUR

Tendered:
Credit/Debit Card 80.00
7205

Change: 0.00

Issued By: Bernadine Duignan
From: Central Cash Office

Carmel Curley

From: Carmel Curley
Sent: Tuesday 15 October 2024 14:49
To: info@sbassociates.ie
Subject: DED 782 - Angela Adcock
Attachments: DED 782 - Ack Letter & Receipt.pdf

A Chara,

Please find acknowledgement letter & receipt for DED Application 782 for Angela Adcock. Please note that a hard copy will be issued to the applicant today.

Regards,

Carmel

Carmel Curley, Assistant Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98
☎: (090) 6637100

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION



Caroline Mockler

From: Shane O'Connor (SB + Associates) <shane@sbassociates.ie>
Sent: Friday 11 October 2024 12:47
To: Planning Department
Cc: Angela A
Subject: Our ref: 23-069-Section 5 Exemption
Attachments: 23-069-Section 5 Declaration Complete.pdf; 23-069-Site Location Map 2500.pdf; 23-069-A-500 Proposed Site Layout.pdf; 23-069-A-900 Exemption Drawings.pdf



To whom it concerns

Please find attached the following documents which form our application for a Declaration of Exempted Development under Section 5 of the Planning & Development Act 2000 (as amended)

- 23-069-A-900-Exemption Drawings
- 23-069-A-500-Site Layout
- 23-069-Site Location Map 2500
- 23-069-Declaration Under Section 5 Application Form

Please contact me on receipt of this email to arrange payment.

Trusting the above to be in order,

Regards,



Old School House Architects Ltd
Registered Architects
t/a Simon Beale + Associates



Shane O'Connor

BSc (Hons), Construction Management

E: shane@sbassociates.ie | M: +353 87 791 2678 | www.sbassociates.ie

HEAD OFFICE

The Old School House,
Casement St, Ballina,
Co. Mayo, F26 N9Y4
Tel: +353 96 60070

ROSCOMMON

Millstream House,
Williamstown Rd, Castlereagh,
Co. Roscommon, F45 XF79
Tel: +353 9496 25952

DUBLIN

8 The Mall, Lower Main St,
Lucan, Co. Dublin,
K78 R8N2
Tel: +353 1 662 9636

LONDON

1 Kings Park, Primrose Hill,
Kings Langley, WD4 8ST,
United Kingdom
Tel: +44 203 996 2236

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Comhairle Contae
Ros Comáin
Roscommon
County Council



Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the

Planning & Development Act 2000 (as amended), regarding Exempted Development

Name of Applicant(s)	Angela Adcock
Name of Agent	Simon Beale + Associates
Nature of Proposed Works	Small Replacement Extension to Existing Dwelling Hoose
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	Eircode: F45X018, Willsbrook Td. Castlerea Plot Ref: 50387201_1
Floor Area: a) Existing Structure b) Proposed Structure	a) <u>89.5m2</u> b) <u>92m2 total (2.5m2 extension)</u>
Height above ground level:	5.3m
Total area of private open space remaining after completion of this development	0.26 Hectares
Roofing Material (Slates, Tiles, other) (Specify)	Black/Blue Fibre Cement Slats

Roscommon County Council

Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	Nap Plaster Render
Is proposed works located at front/rear/side of existing house.	Rear
Has an application been made previously for this site	Yes
If yes give ref. number (include full details of existing extension, if any)	PD 24/60125 (replace treatment unit)
Existing use of land or structure	Residential Dwelling
Proposed use of land or structure	As Existing
Distance of proposed building line from edge of roadway	9.2m to existing dwelling
Does the proposed development involve the provision of a piped water supply	Existing Supply to be maintained
Does the proposed development involve the provision of sanitary facilities	Existing Services to be maintained

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature: Shane O'Connor c/c Angela Adcock

Date: 11/10/24

Note: This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



Planning Pack Map



Tailte
Éireann

CENTRE COORDINATES:
ITM 568406, 775777

PUBLISHED: 08/03/2024

ORDER NO.: 50387201_1

MAP SERIES: 1:5,000

MAP SHEETS: 2284

COMPILED AND PUBLISHED BY:
Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

www.tailte.ie

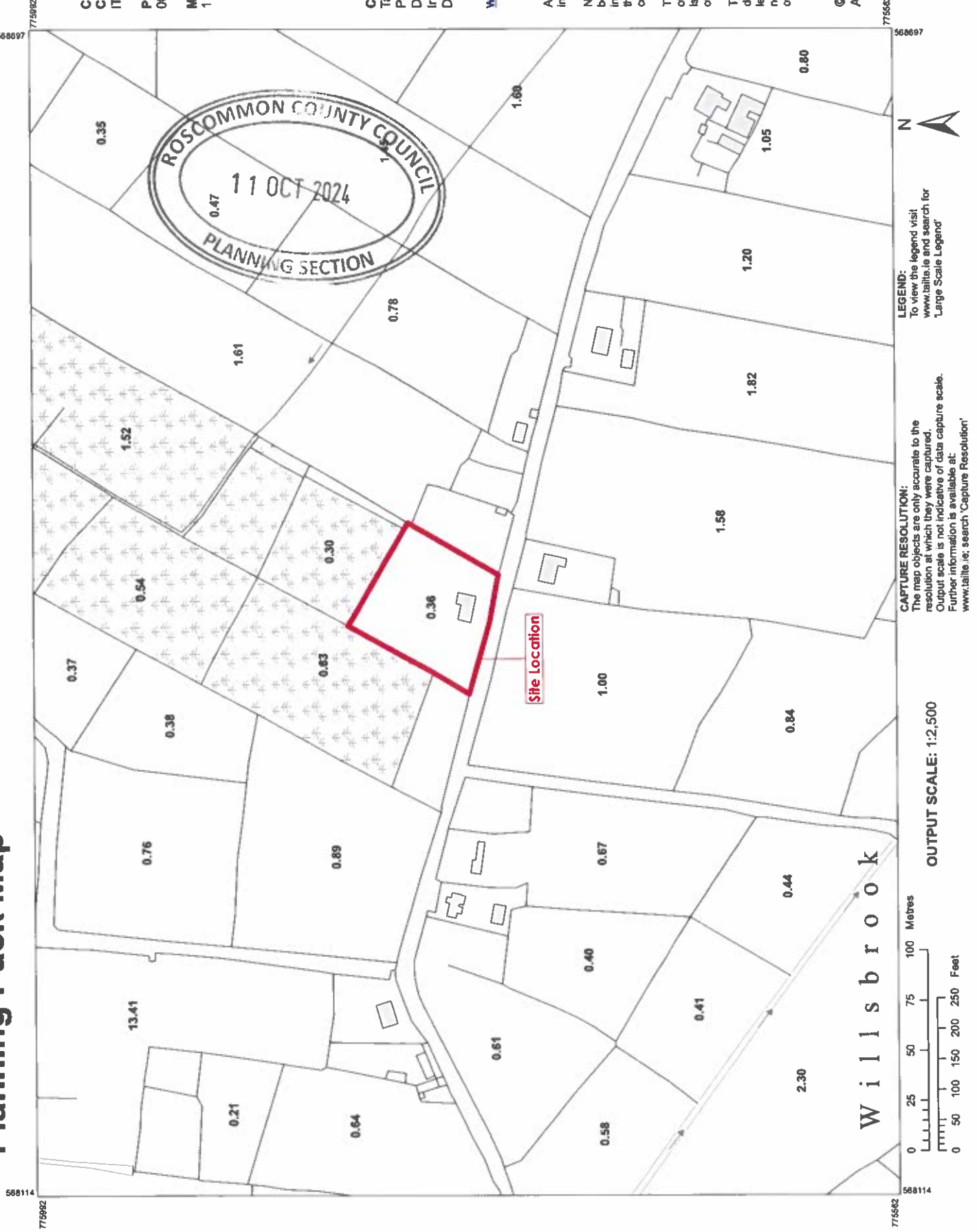
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Client:
Angela Adcock

Project:
Section 5 Exemption Works

Site Address:
**Willabrook, Castleroa,
Co. Roscommon.**

Drawing No:
23-069-A-P-P-500

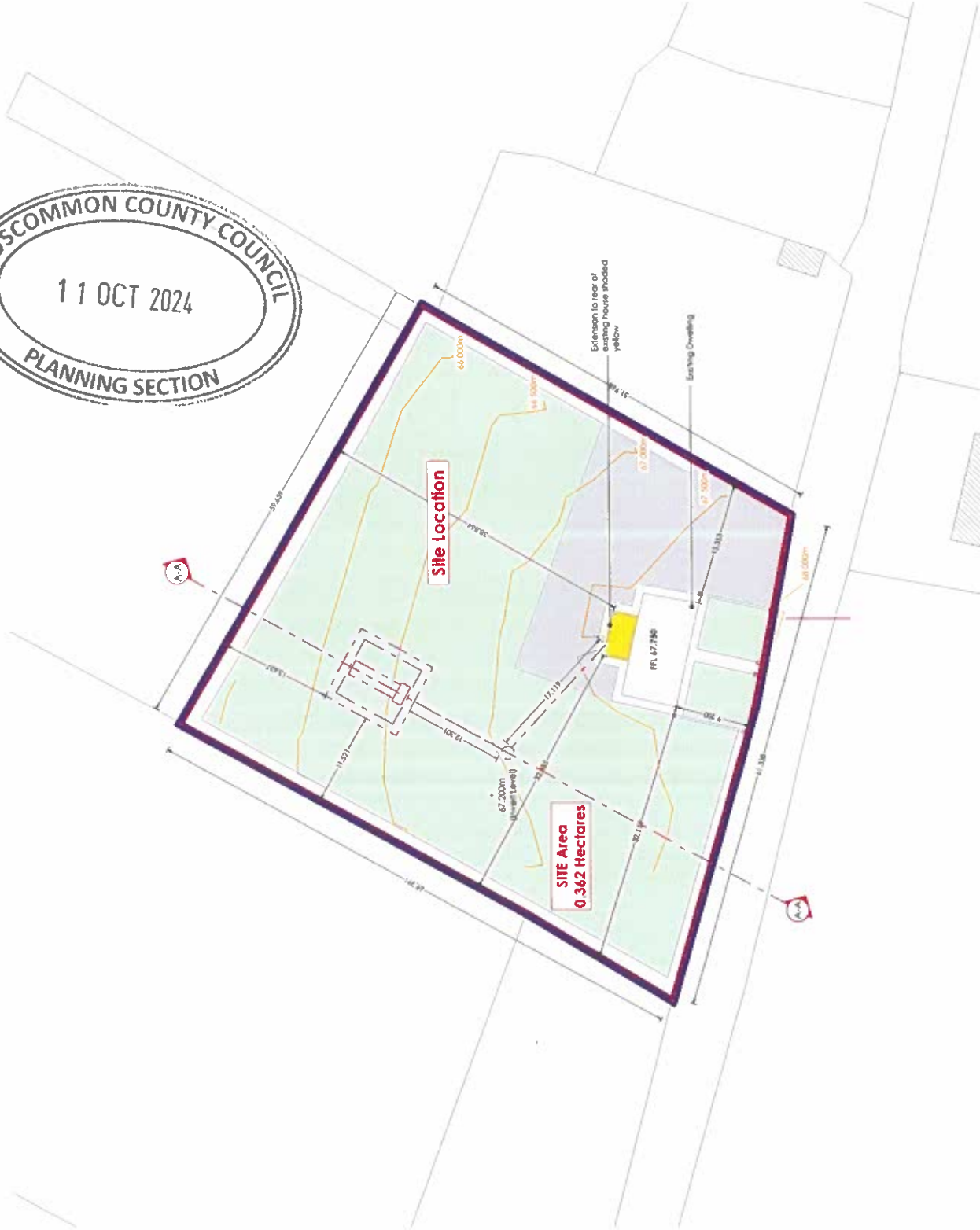
Drawing Title:
Proposed Site Layout

Date:
04 October 2024

Drawing Scale:
As Shown @ A3

Drawing Status:
POST PLANNING PURPOSES ONLY

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Proposed Site Layout 1:500



Client:
Angela Adcock

Project:
**Renovation & Extension of
Existing Dwelling**

Site Address:
**Willabrook Castlereagh
Co. Roscommon.**

Drawing No:
23-068-A-E-P-900

Drawing Title:
Exemption Drawings

Date:
10 October 2024

Drawing Scale:
As Shown @ A3

Drawing Status:
EXEMPTION PURPOSES ONLY

THIS EXEMPTION IS VALID FOR:

1. The erection, extension, alteration or improvement of a building or structure, or the carrying out of works, provided that the works are not of a substantial nature and are not of a substantial nature and are not of a substantial nature.
2. The carrying out of works, provided that the works are not of a substantial nature and are not of a substantial nature and are not of a substantial nature.
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Roof re-jointed with black/ blue fibre cement slates

Addition of new rooflight

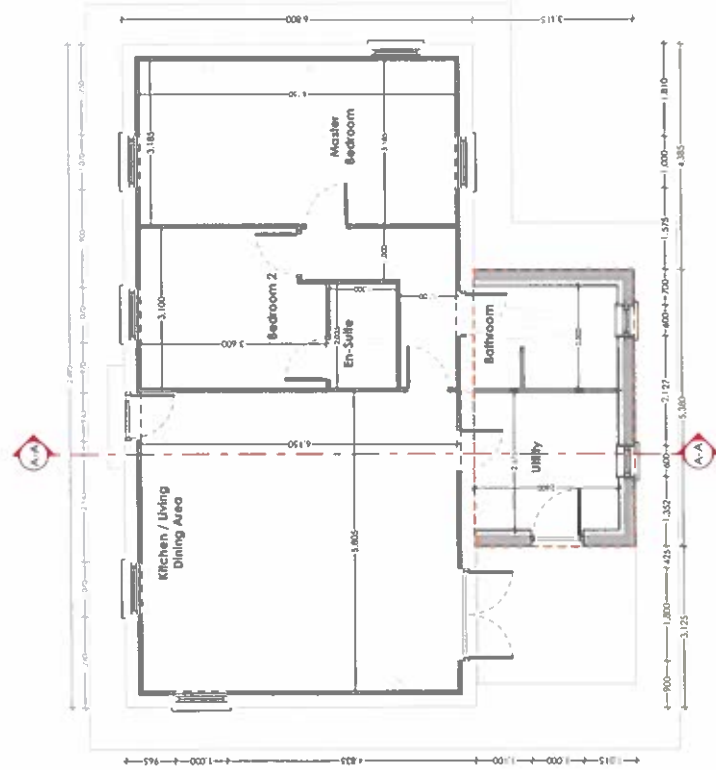
Proposed - Northeast Elevation 1:100

Roof re-jointed with black/ blue fibre cement slates

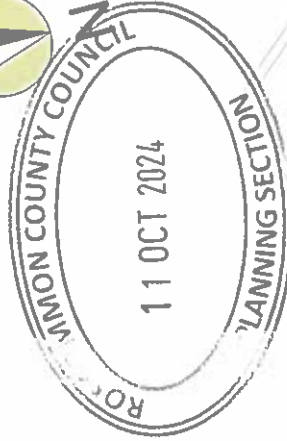
New window and doors

Proposed - Southwest Elevation 1:100

Proposed - Northwest Elevation 1:100



DRAWING KEY
- Existing Walls
- Proposed Works
- Proposed Extension



Proposed - Southeast Elevation 1:100



Simon Beale + Associates
Registered Architects

HEAD OFFICE
The Old Schoolhouse,
Willsbrook Castle,
Co. Roscommon F65X79
Tel: +353 (0) 95 595 5952

ROSCOMMON
Willsbrook Castle,
Co. Roscommon F65X79
Tel: +353 (0) 95 595 5952

DUBLIN
8 The Hall, Lower Nass St.,
Lucan, Co. Dublin,
K78 R8N2
Tel: +353 1 657 96316

LONDON
Unit 3 Abbotts Business Park,
Primrose Hill,
Kings Langley, WD4 8LR
Tel: +44 (0) 20 8004 2001

Client:
Angela Adcock

Project:
Renovation & Extension of
Existing Dwelling

Site Address:
Willsbrook Castle,
Co. Roscommon.

Drawing No:
23-069-A-E-P-900

Drawing Title:
Exemption Drawings

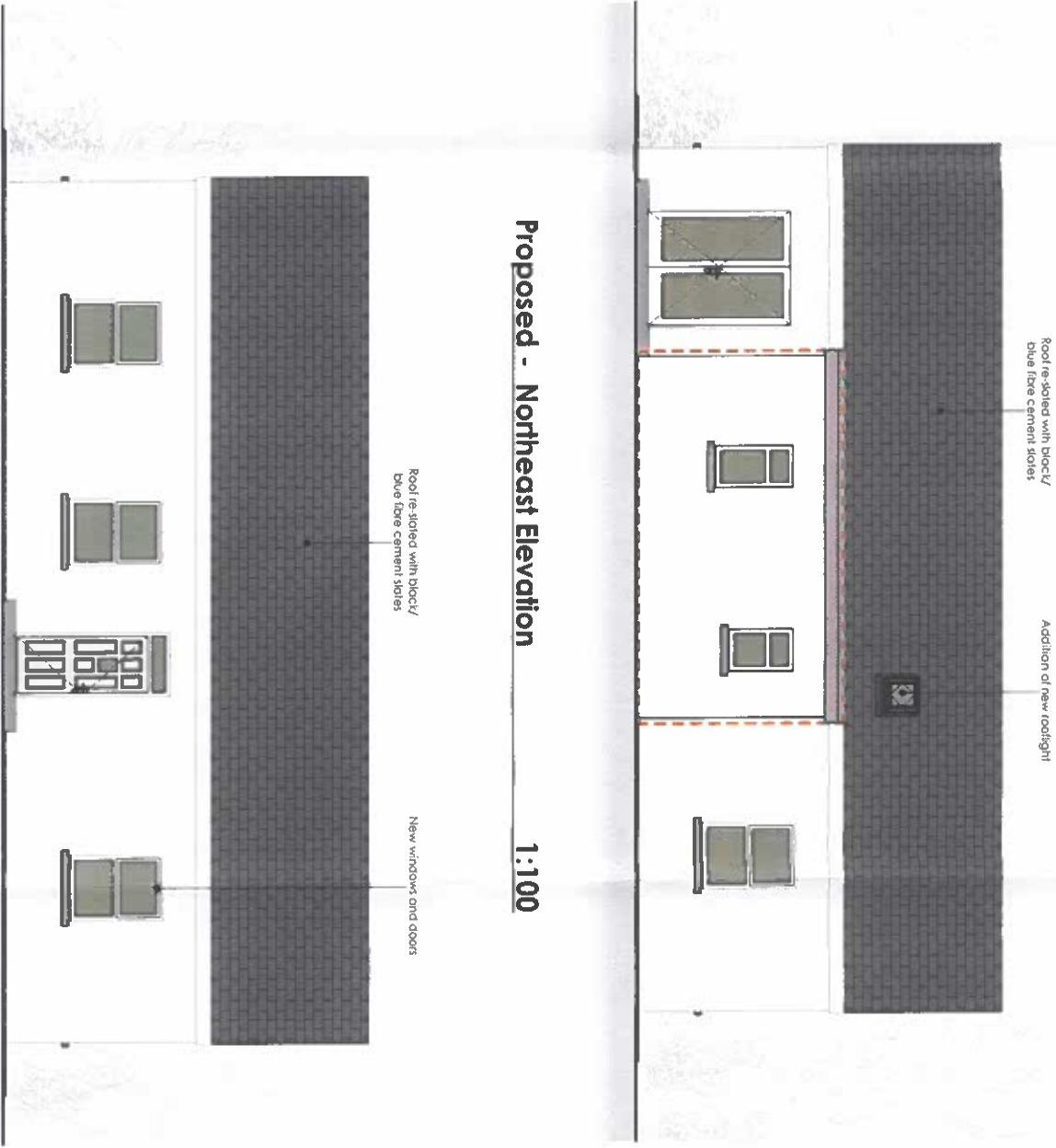
Date:
14 October 2024

Drawing Scale:
As Shown @ A3

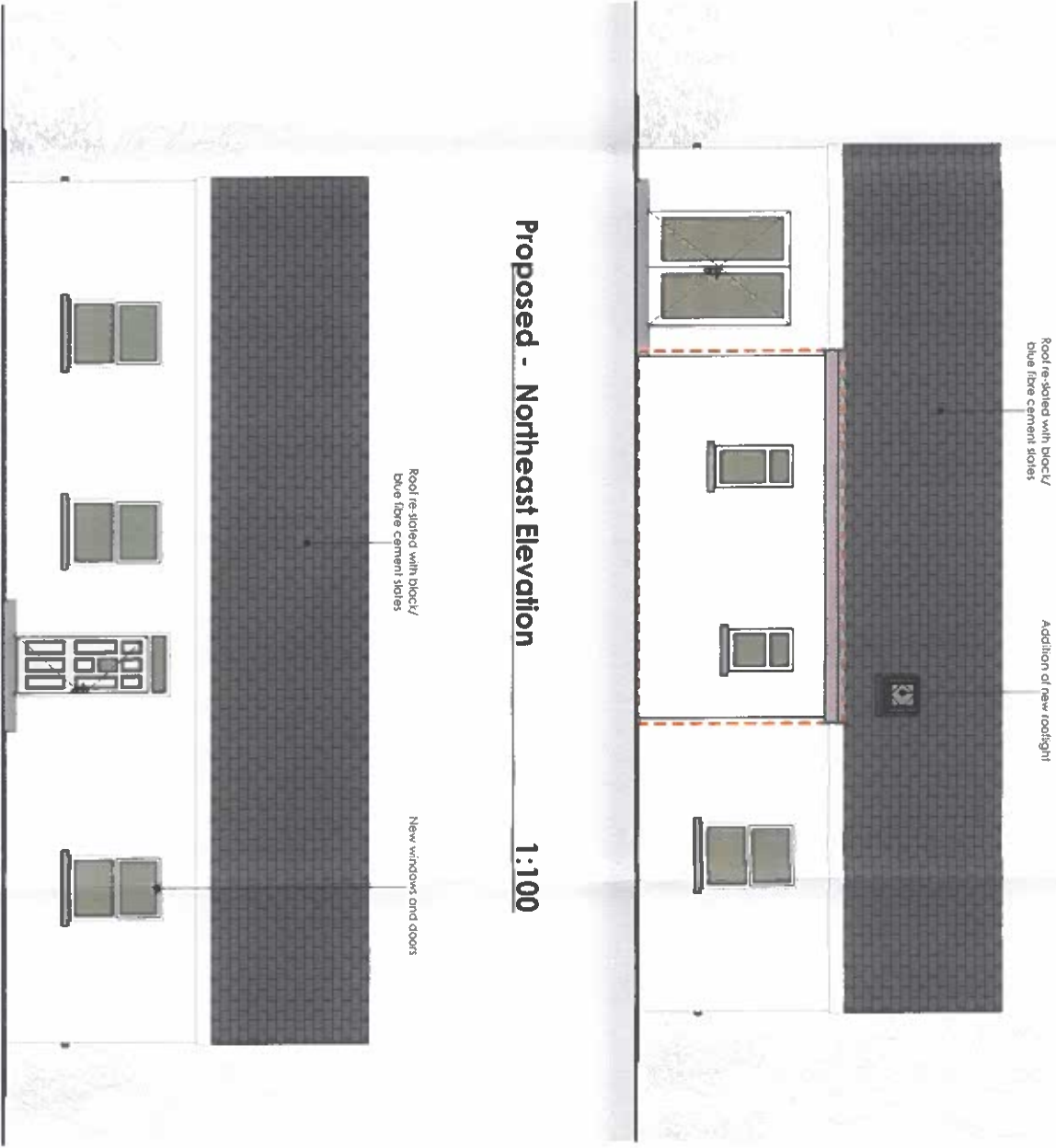
Drawing Status:
EXEMPTION PURPOSES ONLY

TERMS & CONDITIONS OF DRAWING USE

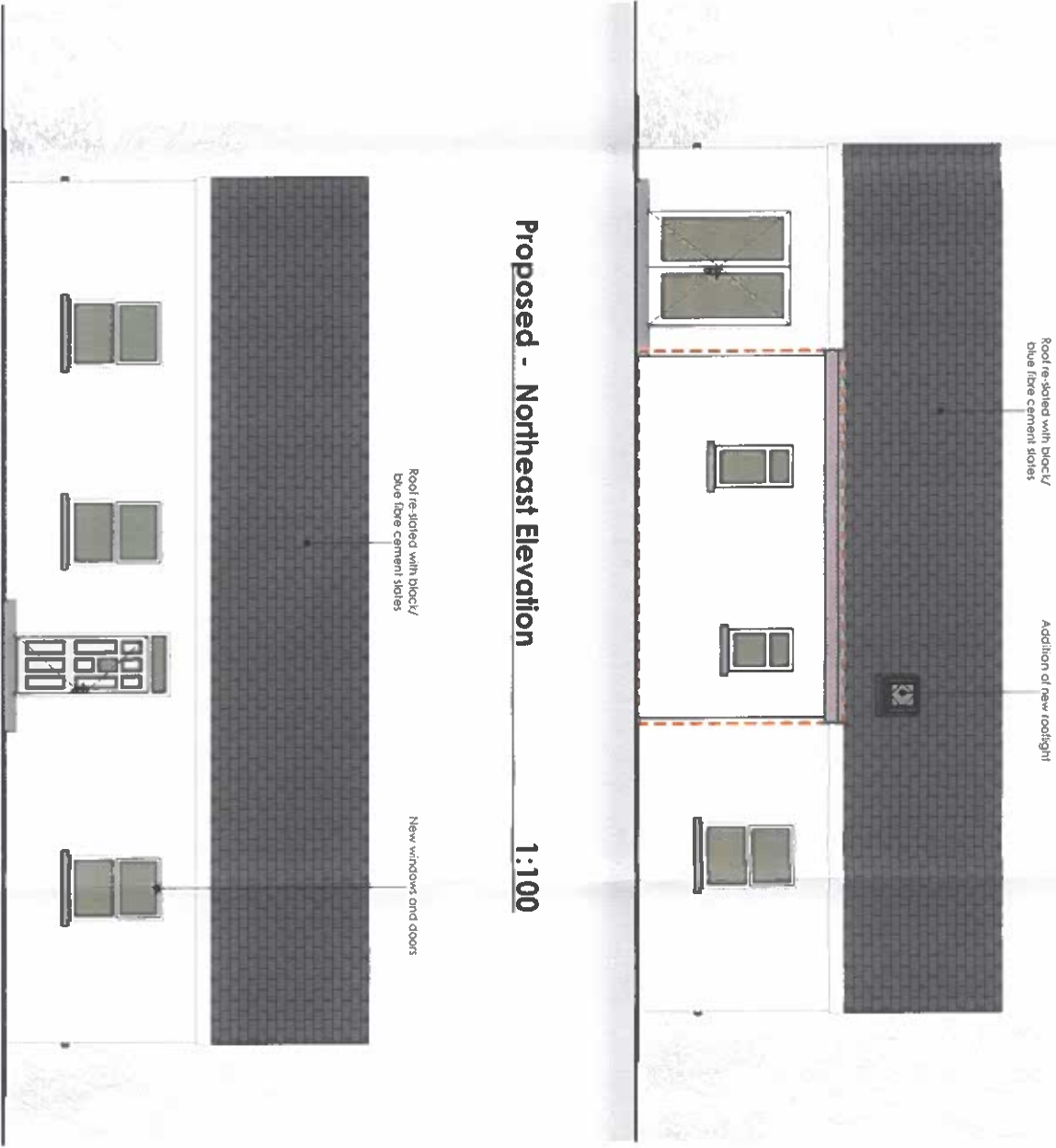
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4. References to National Standards, whether Irish standards (ISI), British (BS) or others, or Building Regulations, shall be deemed to refer to the relevant standards or codes of practice current at the date of issue of the drawing. It is the Contractor's responsibility to ensure that all work is carried out in accordance with the most current Building Regulations, Standards and Technical Guidance Documents.
5. Proprietary items shall be listed in strict accordance with manufacturer's instructions.
6. Any questions as to the meaning of these conditions shall be submitted to the Author in writing for their ruling, and such a ruling shall be conclusive as to the meaning or interpretation of these conditions.
7. All Contractors, whether main contractors or sub-contractors, must visit the site and are responsible for taking and checking any and all dimensions and levels relating to the works.
8. Where the drawing contains discrepancies in relation to other relevant documents, such discrepancies shall be brought to the attention of the author who shall issue a written instruction.
9. Do not scale off the drawing. If any metric dimensions only should be taken off the drawing, Imperial measurements, if shown, are for illustration purposes only.
10. All information shown relating to existing structures and construction is preliminary and subject to "opening up" and confirmation by the Contractor/sub-contractor. Any discrepancies are to be referred to the Author.
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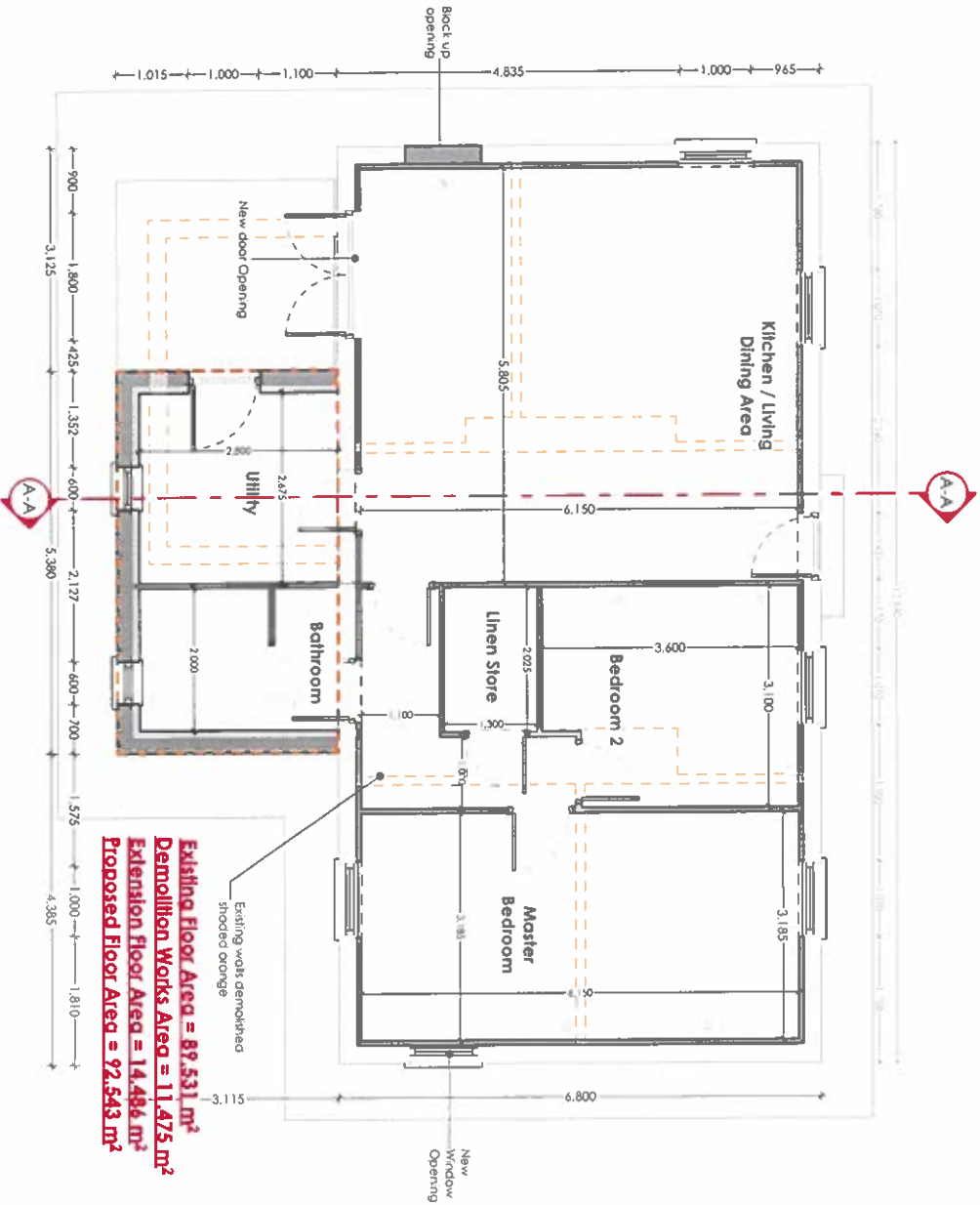
Proposed - Northeast Elevation 1:100



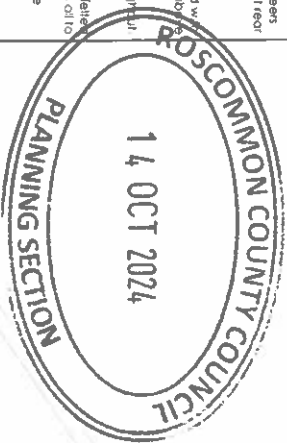
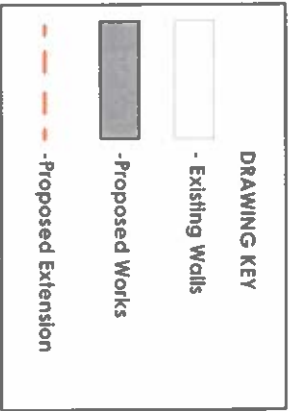
Proposed - Southwest Elevation 1:100



Proposed - Northwest Elevation 1:100



Existing floor Area = 87.531 m²
Demolition Works Area = 11.475 m²
Extension floor Area = 14.486 m²
Proposed Floor Area = 92.543 m²



Building Works Complete

Demolition Works
Demolish existing rear extension, external works and chimney construction. All waste material to be disposed of through licensed waste management company.

Proposed Extension
Provide new single foundation to engineering specification with 215mm block on 100mm extension above.

New external works
New external wall construction with 215mm block on 100mm extension above.

External Works
New concrete sub-floor to be installed with 100mm insulation and 75mm screed over.

External Works
New UPVC windows and doors through external walls to be installed in accordance with ICD Part 8.

Existing roof
Existing roof to be removed, roof joists and re-joined with type cement joists, all to Architects specification. Existing roof timbers to be replaced/treated where necessary. Ventilation to attic space provided in joists.

Internal Works
Internal walls and plasterboard finish to be removed and replaced in or external works, new and existing.

New UPVC
New UPVC door to existing living room with 100mm insulation and screed finish to Architects details.

New plasterboard
New plasterboard ceilings throughout with insulation above to Architects specification.

Mechanical and Electrical
New solid fuel heating system installed with radiators to rooms.

New Electrical
New electrical installation to be provided in or to RCD certification.

External and Internal
New bathroom suite to be fitted.

New external doors
New external doors, skirting and architrave.

New Kitchen
New Kitchen to be provided.

Note
All works to be complete to current building standard.

Proposed - Southeast Elevation 1:100