

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Kieran Farrell,



Reference Number: DED 777
Application Received: 1st October 2024
Name of Applicant: Kieran Farrell
Agent: PJ Moran, Highfield, Four-Roads, Roscommon.

WHEREAS a question has arisen as to whether the renovation of an existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, Co. Roscommon, is or is not development and is or is not exempted development.

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended.
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 – 2011.
- (d) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The works are development.
- (b) internal walls to be demolished is exempted development.
- (c) new partitions to be constructed is exempted development.
- (d) new windows to be installed is exempted development.
- (e) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout is exempted development.
- (f) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed is exempted development.
- (g) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected is exempted development.
- (h) flat roof area to be reconstructed and reinstated in accordance with detail in drawings is exempted development.
- (i) all services, including heating, plumbing and drainage installation to unit is exempted development.
- (j) all ceiling areas to be slabbed and skimmed is exempted development.
- (k) all redecoration and reinstatement works to fixtures and fittings to be completed is exempted development.

- (l) entire unit to be painted internally and externally is exempted development.
- (m) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2024 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to renovate an existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, Co. Roscommon, is development that is exempted development as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 8th November 2024

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

**Planner's Report on application under Section 5 of the
Planning and Development Acts 2000 (as amended)**

Reference Number: DED 777

Name and Address of Applicant: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development - Permission to ~~reconstruct~~ renovate existing dwelling, works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, County Roscommon

Applicant: Kieran Farrell

Date: 7th November 2024

WHEREAS a question has arisen as to whether to ~~reconstruct~~ renovate the existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, County Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 – 2011
- (d) The planning history of the site

Site Location & Development Description

The existing property is located in Rath, Ballintubber, County Roscommon. A small portion of the subject structure was utilised in the past as a food store. There are no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS. The subject site is approximately 7km from the Corliskea/Trien/Cloonfellov Bog SAC (Site Code: 002110). The proposed development consists of reconstructing the existing dwelling house as specified below.

Planning History

As per the Roscommon County Council GIS, there is no recent planning history on the subject site.

Assessment

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said reconstruction of the existing house constitutes development, as defined in Section 3 of the said Act. The proposed works include:

- (a) internal walls to be demolished
- (b) new partitions to be constructed
- (c) new windows to be installed
- (d) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout
- (e) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed
- (f) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected
- (g) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof
- (h) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule
- (i) all ceiling areas to be slabbed and skimmed
- (j) all redecoration and reinstatement works to fixtures and fittings to be completed
- (k) entire unit to be painted internally and externally

These works have considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The proposed works in this case are considered to be exempted development.

Please note that further information in relation to the proposal description ('Permission to reconstruct existing dwelling') was received on the 7th November 2024 confirming that it is proposed to refurbish the existing dwelling and not reconstruct it. The further information received states that the use of the word 'reconstruct' was included in error.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations, it is reasonable to conclude that on the basis of the information available, it is considered that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for EIA or AA does not apply with respect to the current referral case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

WHEREAS a question has arisen as to whether to ~~reconstruct~~ renovate the existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, County Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 – 2011
- (d) The planning history of the site

AND WHEREAS I have concluded that

- (a) The works are development
- (b) internal walls to be demolished is exempted development
- (c) new partitions to be constructed is exempted development
- (d) new windows to be installed is exempted development
- (e) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout is exempted development
- (f) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed is exempted development
- (g) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected is exempted development
- (h) flat roof area to be reconstructed and reinstated in accordance with detail in drawings is exempted development

- (i) all services, including heating, plumbing and drainage installation to unit is exempted development
- (j) all ceiling areas to be slabbed and skimmed is exempted development
- (k) all redecoration and reinstatement works to fixtures and fittings to be completed is exempted development
- (l) entire unit to be painted internally and externally is exempted development
- (m) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

and I recommend that a declaration to that effect should be issued to the applicant.


Signed:
Jennifer Foy
Assistant Planner

Date: 7th November 2024

Signed: _____
Alan O'Connell
Senior Executive Planner

Date:

Roscommon County Council

Re: DED - 777

In Response to the further
correction letter Dated the 7/12/24

I wish to confirm that I
intend to Re-Furbish the existing
Dwelling

I wish to confirm that the use
of the word Reconstruct was
wrong in error

S. J. Small
(L. Kavanagh)
7/12/24.

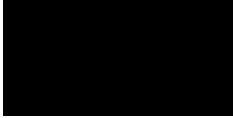




Comhairle Contae
Ros Comáin
Roscommon
County Council



Kieran Farrell,



Date: 7th November 2024
Ref: DED 777

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: WHEREAS a question has arisen as to whether to reconstruct the existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, Co. Roscommon, is or is not development and is or is not exempted development.

A Chara,

Further to your application received on the 1st October 2024 and in order for the Planning Authority to determine as to whether to reconstruct the existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, Co. Roscommon, is or is not development and is or is not exempted development, you are requested to submit the following further information:

1. The Planning Authority note that the proposal description states 'Permission to reconstruct existing dwelling'. In the interests of clarity, please clarify the use of the word 'reconstruct' and confirm if it is intended to reconstruct or refurbish the existing dwelling.

Consideration of your application is being deferred pending compliance with this request for further information. When replying please quote Planning Reference Number **DED 777**.

Note: Replies to this communication must be by way of original documents.

Mise le meas,



Alan O'Connell,
A/Senior Planner,
Planning.

cc agent via email: **PJ Moran**
pjmoraneng@gmail.com

**Planner's Report on application under Section 5 of the
Planning and Development Acts 2000 (as amended)**

Reference Number: DED 777

Name and Address of Applicant: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development - Permission to reconstruct existing dwelling, works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, County Roscommon

Applicant: Kieran Farrell

Date: 6th November 2024

WHEREAS a question has arisen as to whether to reconstruct the existing dwelling with works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed and 11) entire unit to be painted internally and externally at Rath, Ballintubber, County Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 – 2011
- (d) The planning history of the site

Site Location & Development Description

The existing property is located in Rath, Ballintubber, County Roscommon. A small portion of the subject structure was utilised in the past as a food store. There are no known heritage related sites/structures in very close proximity to the subject site, as per the Roscommon County Council GIS. The subject site is approximately 7km from the Corliskea/Trien/Cloonfellov Bog SAC (Site Code: 002110). The proposed development consists of reconstructing the existing dwelling house as specified below.

Planning History

As per the Roscommon County Council GIS, there is no recent planning history on the subject site.

Assessment

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said reconstruction of the existing house constitutes development, as defined in Section 3 of the said Act. The proposed works include:

- (a) internal walls to be demolished
- (b) new partitions to be constructed
- (c) new windows to be installed
- (d) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout
- (e) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed
- (f) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected
- (g) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof
- (h) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule
- (i) all ceiling areas to be slabbed and skimmed
- (j) all redecoration and reinstatement works to fixtures and fittings to be completed
- (k) entire unit to be painted internally and externally

These works have considered in the context of Section 4 (1)(h) of the Act, consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The proposed works in this case are considered to be exempted development. However, in the interests of clarity, it is considered necessary to query the wording of the proposal which states 'Permission to reconstruct existing dwelling'. Clarification is required to effectively establish if the proposal includes reconstructing the existing dwelling.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations, it is reasonable to conclude that on the basis of the information available, it is considered that the proposed development individually

and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for EIA or AA does not apply with respect to the current referral case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

Request the following further information

The Planning Authority note that the proposal description states 'Permission to reconstruct existing dwelling'. In the interests of clarity, please clarify the use of the word 'reconstruct' and confirm if it is intended to reconstruct or refurbish the existing dwelling.

Signed: 

Jennifer Foy
Assistant Planner

Date: 6th November 2024

Signed: 

Alan O'Connell
A/Senior Planner

Date: 6th November 2024



Comhairle Contae
Ros Comáin
Roscommon
County Council



Kieran Farrell,

Date: 3rd October 2024
Planning Reference: DED 777

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission to reconstruct an existing dwelling house, works including 1) internal walls to be demolished; 2) new partitions to be constructed; 3) new windows to be installed; 4) existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout; 5) existing defective roof cladding in mineral felt and decking in chipboard sheeting to be removed; 6) new timber ceiling joists ex 225 x 44 C16 timber sections to be erected; 7) flat roof area to be reconstructed and reinstated in accordance with detail in drawings, roof to be constructed as warm roof; 8) all services, including heating, plumbing and drainage installation to unit to be incorporated into reconstruction schedule; 9) all ceiling areas to be slabbed and skimmed; 10) all redecoration and reinstatement works to fixtures and fittings to be completed & 11) entire unit to be painted internally and externally under the Planning & Development Act (Exempt Development) Regulations 2018 at Rath, Ballintubber, Co. Roscommon.

A Chara,

I wish to acknowledge receipt of your application which was received on the 1st October 2024, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. L01/0/230826 dated 2nd October 2024, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 777**.
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell
Senior Executive Planner,
Planning Department.

cc agent via email: PJ Moran
Áras an Chontae, Roscommon, F42 VR98
T 090 6637100 F 090 6625599 E customer.service@roscommoncoco.ie
W roscommon.ie [RoscommonCountyCouncil](https://www.facebook.com/RoscommonCountyCouncil) [@roscommoncoco](https://www.instagram.com/roscommoncoco)



Oifig Fiontair Áitiúil
Local Enterprise Office

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

02/10/2024 12:53:42

Receipt No. : L01/0/230828

KIERAN FARRELL
C/O PJ MORAN
FOUR ROADS
ROSCOMMON

EXEMPTED DEVELOPMENT

PLANNING APPLICATION FEES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	
DED777	

Total	80.00 EUR
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Tendered	
Cheque	80 00
000551	

Change	0 00
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Issued By : Geraldine Murren
From : Central Cash Office

Carmel Curley

From: Carmel Curley
Sent: Thursday 3 October 2024 14:39
To: pjmoraneng@gmail.com
Subject: DED777 - Kieran Farrell
Attachments: DED 777 - Ack letter & Receipt.pdf

A Chara,

Please see attached Acknowledgement Letter & Receipt for DED Application 77 for Kieran Farrell.

Regards,

Carmel

Carmel Curley, Assistant Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98

☎: (090) 6637100

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION





Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development

Name of Applicant(s)	KIERAN FARRELL
Name of Agent	P. J. MORAN
Nature of Proposed Works	RECONSTRUCTION OF EXISTING UNIT COMPRISING NEW ROOF IN FLAT ROOF CONSTRUCTION & INTERNAL ALTERATIONS
Location & Address of Subject Property to include, Eircode (where applicable), Townland & O.S No.	RATH BALLINTURBER O.S. 2410 & 2411 I.T.M.: 375894, 740774
Floor Area: a) Existing Structure b) Proposed Structure	a) <u>74 SQ. M.</u> b) <u>74 SQ. M.</u>
Height above ground level:	0.3 m ABOVE ADJOINING GROUND
Total area of private open space remaining after completion of this development	318 SQ. M.
Roofing Material (Slates, Tiles, other) (Specify)	BUTYL MEMBRANE ON PLYWOOD DECK (FLAT ROOF)

Roscommon County Council

Application for a Declaration under Section 5 of the

Proposed external walling (plaster, stonework, brick or other finish, giving colour)	RENDERED PLASTER
Is proposed works located at front/rear/side of existing house.	SIDE + REAR
Has an application been made previously for this site	No
If yes give ref. number (include full details of existing extension, if any)	—
Existing use of land or structure	RESIDENTIAL
Proposed use of land or structure	RESIDENTIAL
Distance of proposed building line from edge of roadway	18m
Does the proposed development involve the provision of a piped water supply	EXISTING SUPPLY
Does the proposed development involve the provision of sanitary facilities	EXISTING DRAINAGE TO DWELLING

Planning & Development Act 2000 (as amended), regarding Exempted Development

Signature:

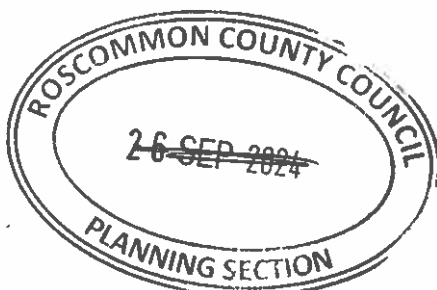
M. K. Farrell
M. K. Farrell

Date:

25/09/2024

Note: This application must be accompanied by: -

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



Schedule of Reconstruction works to dwelling unit for Kieran Farrell at Rath Balintubber

1. Internal walls as shown on floor layout plan to be demolished
2. New partitions to be constructed as shown on floor layout plan to facilitate revisions to accommodation layout
3. New windows to be installed through the unit
4. Existing window ope on rear elevation to be relocated to facilitate proposed kitchen layout
5. Existing defective roof cladding in mineral felt, and decking in chipboard sheeting to be removed
6. New timber ceiling joists ex 225 x 44 C16 timber sections to be erected
7. Flat roof area to be reconstructed and reinstated in accordance with detail on drawing . Roof to be constructed as warm roof
8. All services , including heating plumbing and drainage installations to unit to be incorporated into reconstruction schedule
9. All ceiling areas to be slabbed and skimmed
10. All redecoration and reinstatement works to fixtures and fittings to be completed
11. Entire unit to be painted internally and externally



Planning Pack Map



Tailte
Éireann

CENTRE
COORDINATES:
ITM 575894, 770774

PUBLISHED:
25/07/2024

ORDER NO.:
50412994_1

MAP SERIES:
1:5 000
1:5 000

MAP SHEETS:
2410
2411

COMPILED AND PUBLISHED BY:
Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

www.tailte.ie

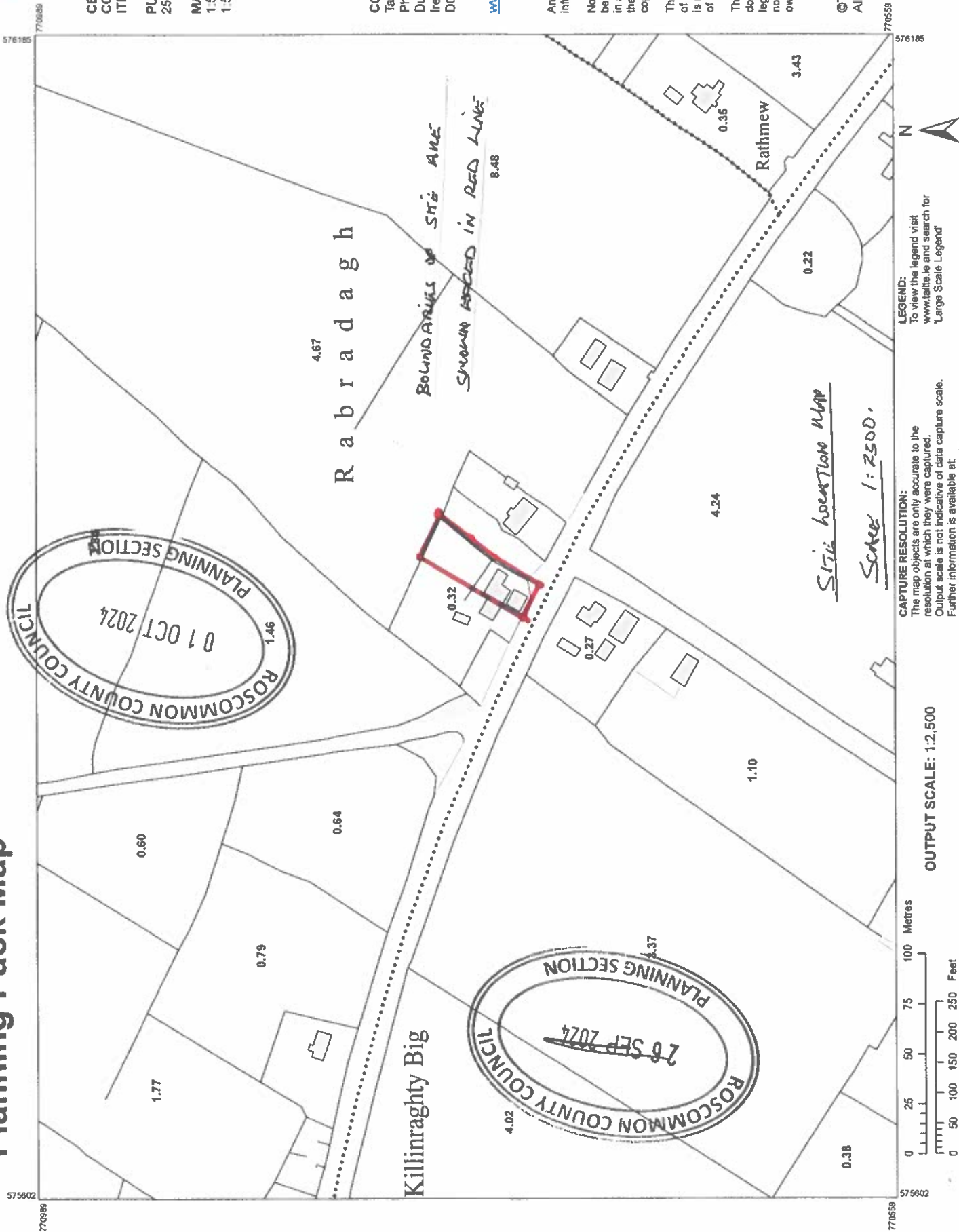
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ownership of physical features.

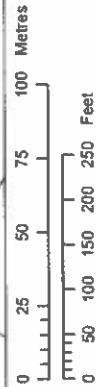
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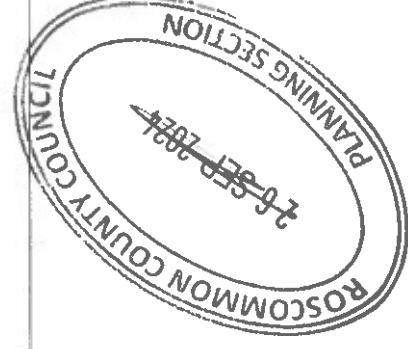
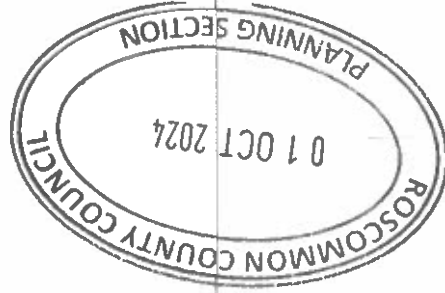


LEGEND:
To view the legend visit
www.tailte.ie and search for
'Large Scale Legend'

CAPTURE RESOLUTION:
The map objects are only accurate to the
resolution at which they were captured.
Output scale is not indicative of data capture scale.
Further information is available at:
www.tailte.ie, search 'Capture Resolution'

OUTPUT SCALE: 1:2,500

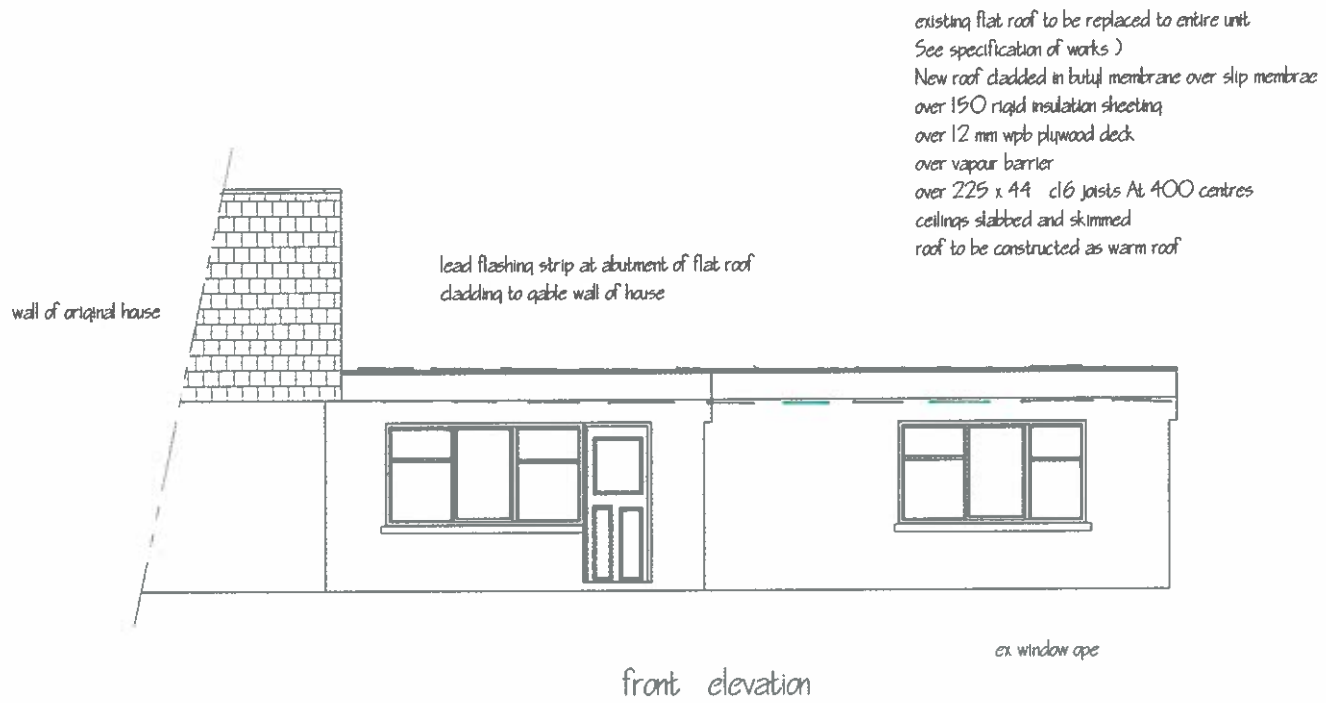
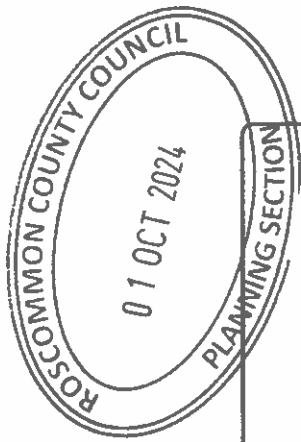




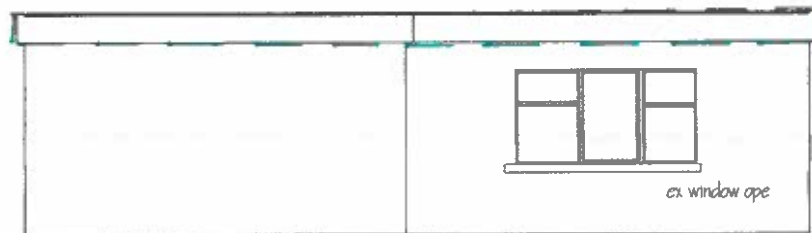
boundaries of site are
shown edge in red line

all existing boundary fencing and foliage to be retained
proposed development comprises r roofing and reinstatement of the area shown
hatched
See attached floor layout plan of apartment
Report on condition of roof outlining necessity for the roof remediation works

Site layout Plan
scale 1 : 500

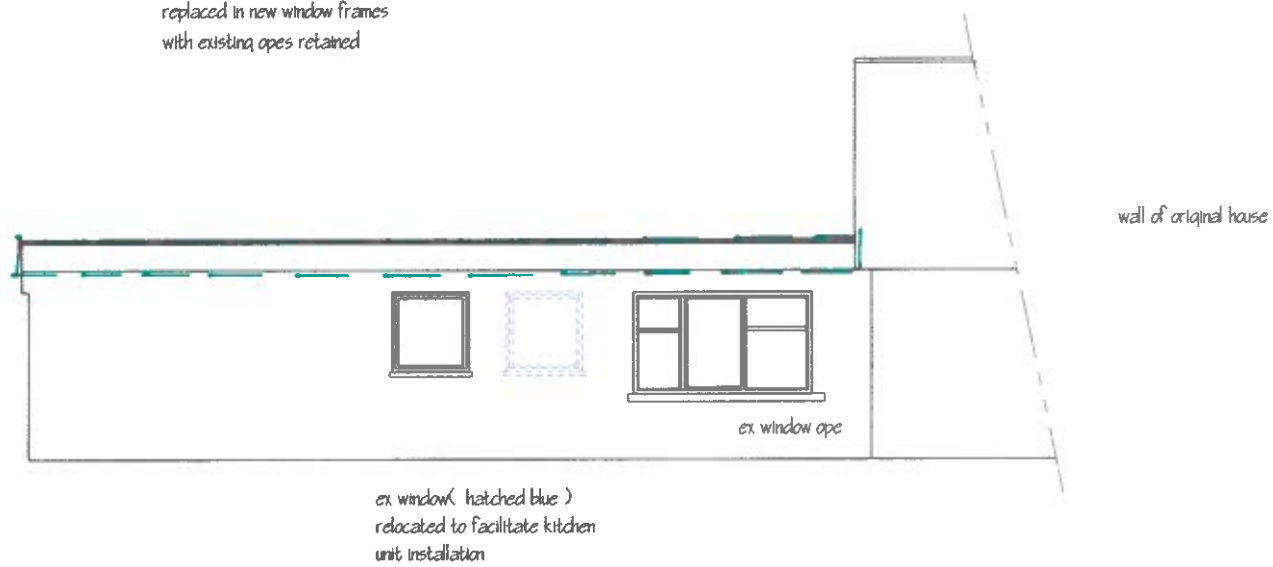


NOTE: EX. ROOF TO BE RECONSTRUCTED
SHOWN IN DASHED GREEN LINE



all windows in building to be
replaced in new window frames
with existing opes retained

side elevation



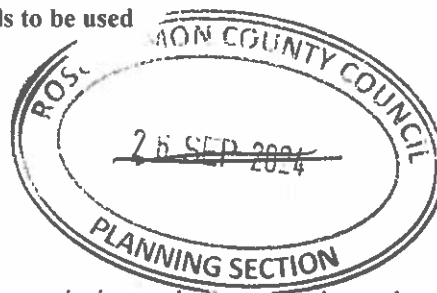
rear elevation

P.J.Moran, B.E., C.Eng., M.I.E.I. Chartered Civil Engineer	
Highfield, Four Roads, Co. Roscommon	
Tel 09066 22976 mob 087 287164 email: pj.moran@qmail.com	
Proposed	Roof Reconstruction
At:	
Client: Kieran Farrell	
scale: 1:100	dwg no: J/2900/2.

Roof Reconstruction Works to Dwellinghouse

Specification of Works to be executed and materials to be used

General Clauses



DEFINITION OF TERMS

Throughout the Specification "Employer" shall mean the owner of the property, or designated representative, the person responsible for paying for the works.

The Contractor shall mean the Builder who is nominated and appointed by the owner for construction of the works in accordance with the requirements of Building Control (Amendment) Regulations 2014 (S.I. 9 of 2014)

SUFFICIENCY OF TENDER

Tendering Contractors shall be deemed to have satisfied themselves before tendering as to the correctness and sufficiency of tender for the works and everything necessary for the proper completion of the works. The works involve the upgrading and remediation of the existing building to include the elements of building fabric as detailed in specification and the provision of all services in the course of reinstatement. It is recommended that tendering Contractors submit detailed written tenders outlining the precise elements included in quotation for the benefit of the employer.

CONTRACTOR TO VISIT SITE

The Contractor is requested to visit the site of the proposed works before tendering and will be deemed to have satisfied himself as to local conditions, the nature and degree of accessibility to the building, the nature and extent of the operations and works, condition affecting labour and materials and the execution of the works generally. No claim will be entertained in respect of any of these matters nor will lack of knowledge or ignorance of conditions be accepted as substantiating a claim.

In particular contractors are requested to note the locus of the works within existing building, which shall remain operational for the duration.

Contract to include for the provision and erection of security hoarding as applicable to prevent general access to the area under reconstruction.

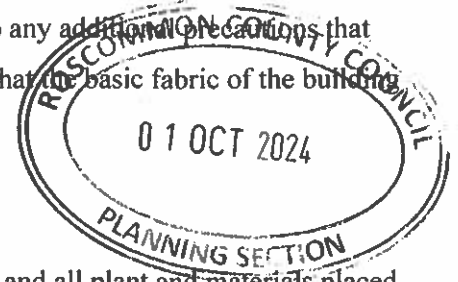
PLANT

The Contractor shall provide all labour, materials, plant, tools etc., where necessary for the satisfactory completion of the work. All mechanical plant used by the Contractor in the execution of the works shall be of such type and size and subject to such methods of working as may be approved by the Adviser.



PROTECTION OF THE WORKS

The Contractor shall at his own expense cover up and protect all materials and work liable to be stained or damaged from any cause that should make good any such damage to the entire satisfaction of the Adviser. The Contractor shall adequately protect from frost all concrete, brickwork, masonry rendering and any other work requiring the use of cement and shall not execute such work when the temperature of the atmosphere or materials is below 2 C on a rising scale or 4 C on a falling scale, except the Engineer's consent and subject to any additional precautions that may be prescribed by him. In particular the contractor shall take steps to ensure that the basic fabric of the building shall be protected and shall not suffer any damage

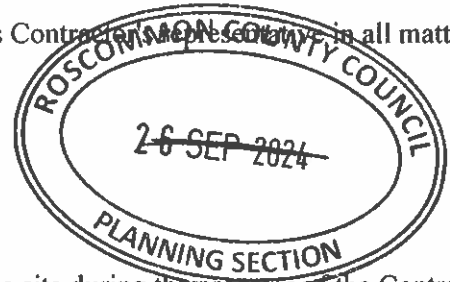


KEEP SITE TIDY

The Contractor through the construction period shall maintain the whole of the site and all plant and materials placed on it in a clean tidy and safe condition. The Contractor shall clear away all rubbish from time to time as directed and at completion of the works. The Contractor shall clean down all surfaces and other works from time to time and wash pavings, flush drains and gullies.

FOREMAN ON SITE

The Contractor whose tender is successful will be required to maintain a competent Foreman on site at all times during the course of the work. This foreman will be empowered to act as Contractor's representative in all matters arising on site for duration of the Contract period.



WORK BY OTHERS ON SITE

The Contractor is to facilitate the work of all others to be employed on the site during the progress of the Contract and is to allow the said firms the reasonable use of any scaffolding or other plant on the work as they may require for the proper execution of their several undertakings together with suitable working spaces as may be necessary. Artificers of each trade including plumbers, electricians and heating installation firms shall be attended on, cut away from, and made good after. All works in the nature of jobbing out that may be required in connection therewith to be performed by the Contractor,

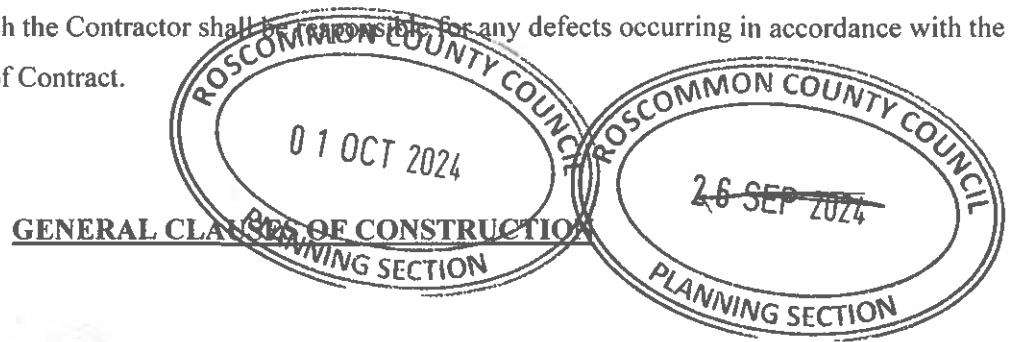
INSURANCE

The Contractor shall provide for insuring the works against loss or damage and keep them insured for the course of the works. The Policy shall take effect immediately on commencement of the Contract. The Contract shall provide for public liability, all risks and employment liability insurance, in the sum of €6.5 million respectively, and indemnifying the Employer against all claims which may arise. It shall be a condition of the contract that verification of insurance cover shall be furnished prior to awarding of contract

CLEANING UP AND HANDING OVER THE SITE

Prior to acceptance of the work by the owner the Contractor shall remove from the scene of his operation all unused construction materials and equipment, surplus excavation, debris and rubbish. All barricades, signs and markers shall also be removed from the area. The works shall be deemed to be handed over on the date at which the Contractor

presents to the Employer Certificate from supervising personnel stating that the works are completed to his satisfaction and that maintenance period shall commence from that date. The maintenance period shall extend for a period of 12 months during which the Contractor shall be responsible for any defects occurring in accordance with the terms of the general conditions of Contract.



BUILDING REGULATIONS

All tendering contractors shall be deemed to be conversant and familiar with all aspects of current Building Regulations as they pertain to the works

AS outlined all works to be executed and materials to be used in the execution of the works shall be demonstrated as complying with the requirement of Requirement D 3 of Part D of Second Schedule to the Building Regulations (Technical Guidance Document D as amended). All materials MUST BE FIT FOR PURPOSE for which they are intended and for the conditions for which they are to be used and shall satisfy one of the following requirements for confirmation of product suitability :

- A. Bear a CE marking in accordance with provisions of the Construction Products Regulation (305/2011 EU – CPR)
- B. Comply with an appropriate Harmonised standard , European Technical Approval (E T A) or national technical specification
- C. Comply with an appropriate Irish Standard or Irish Agreement Board Certificate or with an alternative equivalent national technical specification

This requirement is to be interpreted as referring to the most recent standards in respect of all aspects of the Building Regulations extant at the time of award of contract. It is an explicit condition of the contract that the successful contractor shall be wholly responsible for compliance with all relevant aspects of the Building Regulations , and any amendments or remediation required subsequently in respect of achieving compliance with the requirements of Building Regulations, or as required to facilitate the certification of all aspects of the works as being in compliance with the Regulations shall be undertaken at the expense of the contractor.

In particular the works are to be executed and validated in compliance with the specific requirements of Building Control Amendment Regulations (S.I. No 9 of 2014) . The Builder shall collect , retain and provide all ancillary certification and documentation required to demonstrate compliance .

EXISTING WORKS TO BE RETAINED

All internal walls to be retained with the exception of the walls shown edged in blue on accompanying floor layout plan . New walls to form revised compartmentation to be in timber stud construction ex 100 x 44 joists . Felt membrane to existing roof to be removed , together with plywood and chipboard sheeting forming the deck to existing flat roof . (see accompanying report outlining the condition of the roof and the extent of the defects which have developed across the plane of the roof)

Existing roof joists ex 225 x 44 C16 joists to be retained as structural deck for new roof

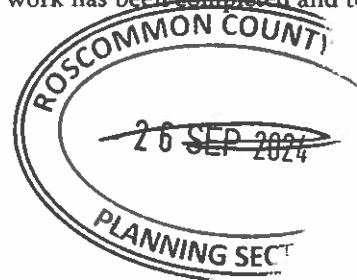
All timber to be treated in proprietary preservative following exposure and prior to erection of new deck

INTERNAL DOORS

All internal doors shall be standard size unless otherwise stipulated on drawings , and all doors shall be 44 mm in thickness
All Internal doors to the house shall be " 6' 8" x 2' 8" white primed NM3 unglazed doors , fitted throughout the house to all door openings including doors to en suite, closet and hot press compartment

The doors rthroughout the house shall be sourced and supplied by the employer .

The doors shall be fitted on frames ex 132 x 31 white primed door frame section , and all fitting shall be carried out by the contractor . The frames for doors shall not be fitted until all internal plaster work has been completed and temporary framing shall be fitted to all opes , by the contractor to facilitate plastering works



ROOF DECK

New roof to be erected and reinstated as warm roof . new deck to be erected over existing joists ex 2400 x 1200 wpb plywood deck. 150 mm rigid Xtratherm insulation sheeting placed above the deck providing ward roof construction .
Roof to be cladded in "Trocac " membrane over marine ply wood deck on 175 x 44 C16 joists at 400 centres. Roof to be constructed as warm roof with 150 insulation sheathing placed above joists.Contract to include for placing of vapour barrier at ceiling level

CEILINGS

All ceilings shall be slabbbed in plaster board slabs, nailed across the joists with their bound edges across the run of joist and secured with 32 galvanized nails at 150mm centres. The joints between boards parallel to the run of joists shall be broken and a space of 4mm left between all adjacent edges. The joints between the boards shall be filled with bonding compound and all joists shall be taped. Jute scrim shall be placed at all wall ceiling junctions. All ceilings shall be skimmed to smooth finish.

RAINWATER DISPOSAL

Extruded aluminium gutters complete with fittings and down pipes shall be placed to take rainwater underground and shall be fitted all around the building at eaves level. All down-pipes shall discharge into standard gully traps. Rainwater from each individual gully trap shall be dispersed by connection to soakaway areas provided for all individual gullies
Gutters and down pipes used in the house construction shall be coloured black



PLUMBING AND HEATING INSTALLATIONS

. All internal piping to renovated bathroom shall be in 12mm and 19mm copper piping to comply with normal standards for internal plumbing, and all piping and fittings shall display clearly a CE marking in accordance with provisions of the Construction Products Regulation (305/2011 EU – CPR).

All sanitary fittings for bathroom, shall be provided by employer.. The installation shall also include for pressurised system for shower

No shower tray shall be provided in En Suite areas and the floor screed shall make allowance for the installation of floor level shower tiling

Entire plumbing and heating installations shall be carried out by nominated sub contractor to be advised and employed by the contractor, and all works shall be pressure tested and certified prior to second fixing . Copy of all certification confirming compliance of all materials with the requirements of Construction Products Regulation (305/2011 EU – CPR).

Contract shall also include for the fitting of a sink unit in the kitchen area to be provided by the employer The plumbing installation shall also make provision for external tap outside the house, in location to be selected by the employer. All vertical pipe runs shall be hidden in the wall in specially constructed shafts in chimney breast for same.

The contractor shall also be responsible for the installation of all internal drainage through the house internally to transfer all waste and soil water to the external drainage system, and all works on drainage installation shall be in accordance with requirements of Part H of Second Schedule to Building Regulations 1997 (Technical Guidance Document H)

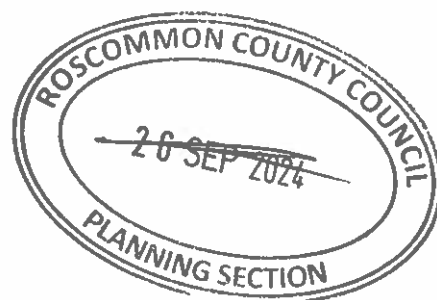
ELECTRICAL INSTALLATION

New electrical installation for lighting through the reconstructed area to be carried out by registered electrical contractor and certified to comply with RECI standards

All existing tubes to be replaced with “Phillips” lighting 58W fluorescent tubes

AIRTIGHTNESS

The construction shall also include for the supply and installation of air tight membranes and tapes for sealing of the roof area , to include for the provision of all membranes and tapes required to provide sealing , including the installation of membranes over all ceiling areas , together with taping and sealing at all opes including ducts pipes electrical conduits etc. The membrane shall be placed on the warm side of all surfaces , incorporating a vapour barrier to prevent interstitial condensation.



P. J. Moran , B.E., C. Eng., M.I.E.I.,

chartered civil engineer

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Highfield
Four Roads
Co. Roscommon

30 April 2024

Re

Structural Assessment : Flat Roof construction

Dwelling house at Rath, Ballintubber.

Props

Kieran Farrell



I have carried out an inspection of the roof construction to extension , erected in extension of original dwelling house at Rath.

The floor area of the extension is 74 sq metres.

The entire roof area to the extension forming accommodation to the side of the original house is in flat roof construction , and the entire roof area is exhibiting significant structural and functional defects which are discernible over the entire plane of the roof :

- A. While the clear spans for the roof joists supporting the roof are finite and within the span capacity of timber joists , the cross sectional dimensions original joists in situ which formed the skeletal frame supporting the roof were inadequate , and did not possess the necessary flexural stiffness to support the combined loading from the roof surface. The inadequate sections gave rise to deflection in the joists , and subsequently to the sheeting forming the roof deck
- B. The roof construction was erected without the benefit of a vapour membrane to prevent vapour migration through the ceiling slabs , with subsequent condensation on the underside of the felt cladding . The condensation led to moisture build up in the roof interstitial area which subsequently percolated through the roof deck comprised of chipboard
- C. The chipboard decking deployed in the roof construction was wholly unsuitable as a roofing material , primarily due to its inability to maintain functional capacity when subjected to the presence of moisture. The condensing water gave rise to damp conditions through out the decking , leading to the partial disintegration of the sheeting , and compromising the structural integrity of the roof construction
- D. The manner in which the chipboard decking deteriorated gave rise to localized variations in the surface condition of the roof , leading to variation in the slope across the

surface of the roof and giving rise to localised depressions in the roof surface. The defective condition of the roof was further exacerbated by the absence of any semblance of essential ventilation provision though the roof area, and by the absence

- E. The absence of adequate slope over the roof surface , giving rise to water run off restrictions further contributed to the over all deterioration in the roof condition
- F. The roof surface was originally cladded in green mineral felt , which became embrittled over time . In addition the depressions in the roof surface gave rise to ponding in the affected areas, leading to wet and dry areas over the plane of the roof , with consequent differential temperatures on the plane of the roof giving rise to stress cracking in the felt membrane , with further moisture ingress into the roof space . The extent of moisture ingress has compromised the condition of the entire roof construction , to the flat roof area , to the extent that it is incapable of fulfilling its primary functional duty and the entire roof requires replacement .

The damage which the roof has incurred due to water ingress arising from the cumulative effect of the factors outlined means that the decay in the roof condition has been ongoing at an accelerating rate and the entire roof area requires removal and replacement

All works are to be executed and completed, including all remediation and reinstatement works, in accordance with the requirements of Building Regulations as they pertain to the erection of domestic dwelling houses.

In particular all works to be executed and materials to be used in the execution of the works shall be demonstrated as complying with the requirement of Requirement D 3 of Part D of Second Schedule to the Building Regulations (Technical Guidance Document D as amended 2013) , and with the requirements of I.S.EN 1995"Design of Timber structures"

All materials must be fit for the conditions for which they are to be used and shall satisfy one of the following requirements for confirmation of product suitability :

Bear a CE marking in accordance with provisions of the Construction Products Regulation (305/2011 EU – CPR)

Comply with an appropriate Harmonized standard , European Technical Approval (E T A) or national technical specification

Comply with an appropriate Irish Standard or Irish Agreement Board Certificate or with an alternative equivalent national technical specification



P.J. Moran

