

**ROSCOMMON COUNTY COUNCIL**

**PLANNING AND DEVELOPMENT ACT, 2000 (as amended)**

**SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**NOTIFICATION OF DECISION**

**REGISTERED POST**

Fionnuala McGuinness,

Reference Number: DED 725

Application Received: 17<sup>th</sup> June 2024

Name of Applicants: Fionnuala McGuinness

Agent: Christopher Kinghan & Associates

WHEREAS a question has arisen as to whether the construction of an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard at Cloonfad, Leitrim Village, Co. Roscommon., is or is not development and is or is not exempted development:

**AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:**

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended.
- (c) Classes 8, 9 and 10 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended.
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended.
- (e) The planning history of the site.

**AND WHEREAS Roscommon County Council has concluded that:**

- (a) The works are development.
- (b) The opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works using the existing farm entrance to the existing farmyard as described in this case are **not** exempted developments.
- (c) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

**NOW THEREFORE:**

By virtue of the powers vested in me by the Local Government Acts 1925 – 2019 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development to construct an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard at Cloonfad, Leitrim Village, Co. Roscommon., is development that is **not exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:



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Alan O'Connell,  
Senior Executive Planner,  
Planning.

Date: 9<sup>th</sup> August 2024

cc agent via email:

Christopher Kinghan & Associates  
[kinghanchris@yahoo.com](mailto:kinghanchris@yahoo.com)

**ADVICE NOTE**

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

**Planner's Report on application under Section 5 of the  
Planning and Development Acts 2000 (as amended)**

**Reference Number:** DED 725

**Re:** Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard under the Planning & Development Act (Exempt Development) Regulations at Cloonfad, Leitrim Village, Co. Roscommon.

**Applicants:** Fionnuala McGuinness

**Date:** 08<sup>th</sup> August 2024 (Inspection 25<sup>th</sup> July 2024)

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**WHEREAS a question has arisen** for an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard at Cloonfad, Leitrim Village, Co. Roscommon **is or is not development and is or is not exempted development.**

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) Classes 8, 9 and 10 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended
- (e) The planning history of the site

**Site Location & Development Description**

The subject site is located in the townland of Cloonfad, Leitrim Village, Co. Roscommon. The site is accessed off the L-10164 Local Primary Road. The site consists of an existing agricultural entrance and access road which leads to two agricultural sheds at the top of the hill. One agricultural shed is used as a horse stables and the other is stated as a machinery shed for agricultural proposes. The existing entrance, access road and area around sheds is made up of stone and is fenced with stakes and wire on one side and open on the other side. The existing/proposed site is situated on top of a hill away from the road overlooking a large open grazing agricultural field. The proposed work are for an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) situated in and around the existing sheds/yard with the gallops proposed in the large open field and the fenced arena next to the existing sheds/yard.

### **Archaeological and Cultural Heritage**

No RMP recorded in the likely zone of influence of the proposed development. No Protected structures or structures listed in the National Inventory of Architectural Heritage the likely zone of influence of the proposed development.

### **Appropriate Assessment**

The closest European site to the site is Lough Drumharlow PNHA (Site Code 001643) which is located circa 0.25km to the southeast.

Having regard to the separation distance between the site and the closest Natura 2000 site and the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, be excluded.

### **Planning History**

As per the Roscommon County Council's Planning Registry, recent planning history relating to the subject site.

- 24/60050 – Permission & retention permission for: Construction of 1 new single storey domestic dwelling, WWTS to EPA CoP 2021 EN 12566-3 with tertiary treatment system & all other site works as required & (B) retention of existing entrance – No decision has been made on this file as of yet.

### **Assessment**

In accordance with the Planning and Development Act, 2000, as amended Section 3. (1) development is defined as the following: "In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land". The proposed development is considered to be the carrying out of works. Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....". It is considered that said proposed mature pit and all associated works constitutes development, as defined in Section 3 of the said Act.

**The proposed open fenced horse arena:**

The proposed open fenced horse arena appears to come within the scope of Class 10 of Part 3 of Article 6 - *Exempted Development Rural* of the Regulations.

**Class 10 of Part 3 of Schedule 2: Exempted development - Rural**

Description of Development	Conditions and Limitations
<b>CLASS 10</b>  The erection of an unroofed fenced area for the exercising or training of horses or ponies, together with a drainage bed or soft surface material to provide an all-weather surface.	<ol style="list-style-type: none"><li>1. No such structure shall be used for any purpose other than the exercising or training of horses or ponies.</li><li>2. No such area shall be used for the staging of public events.</li><li>3. No such structure shall be situated within 10 metres of any public road, and no entrance to such area shall be directly off any public road.</li><li>4. The height of any such structure shall not exceed 2 metres.</li></ol>

The proposed open fenced horse arena is stated as having an area of 800m<sup>2</sup>, with regard to the compliance with the conditions and limitations of Class 10 of Part 3 of Schedule 2 (Exempted Development - Rural) the following assessment sets out how these apply to the current proposal:

1. As per the submitted information the proposed use is for exercise/training of horses.
2. As per the submitted information the proposed arena is for private use only.
3. As per the submitted information the proposed arena is more than 10m from the public road and is not accessed directly off the public road.
4. Proposed height of the fence is stated at 2.05m.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 10 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended, the proposed open fenced horse arena as described in this case is considered to be exempted development.

**The proposed feed & fodder shed (199m<sup>2</sup> stated):**

The proposed feed & fodder shed appears to come within the scope of Class 9 of Part 3 of Article 6 - *Exempted Development Rural* of the Regulations. Existing machinery shed on site with a stated area of 128m<sup>2</sup> which also appears to come within the scope of Class 9 of Part 3 of Article 6 - *Exempted Development Rural*

**Class 9 of Part 3 of Schedule 2: Exempted development - Rural**

Description of Development	Conditions and Limitations
<p><b>CLASS 9</b></p> <p>Works consisting of the provision of any store, barn, shed, glass-house or other structure, not being of a type specified in class 6, 7 or 8 of this Part of this Schedule, and having a gross floor space not exceeding 300 square metres.</p>	<ol style="list-style-type: none"><li>1. No such structure shall be used for any purpose other than the purpose of agriculture or forestry, but excluding the housing of animals or the storing of effluent.</li><li>2. The gross floor space of such structures together with any other such structures situated within the same farmyard complex or complex of such structures or within 100 metres of that complex shall not exceed 900 square metres gross floor space in aggregate.</li><li>3. No such structure shall be situated within 10 metres of any public road.</li><li>4. No such structure within 100 metres of any public road shall exceed 8 metres in height.</li><li>5. No such structure shall be situated within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.</li><li>6. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.</li></ol>

The proposed feed & fodder shed is stated as having an area of 199m<sup>2</sup>, the existing machinery shed is stated to have an area of 128m<sup>2</sup>, leaving a combined total of 327m<sup>2</sup>. With regard to the compliance with the conditions and limitations of Class 9 of Part 3 of Schedule 2 (Exempted Development - Rural) the following assessment sets out how these apply to the current proposal:

1. As per the submitted details the proposed use of the structure is agriculture.
2. The gross floor space of the structure together with any other such structures situated within 100 metres does not exceed 900 square metres gross floor space in aggregate.
3. The proposed structure is stated to be more than 10 metres of the public road.
4. The proposed structure is stated to be less than 8 metres in height.
5. The proposed structure is stated as being more than 100m from any house.
6. The proposed structure is painted cladding.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 9 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended, the proposed feed & fodder shed as described in this case is considered to be exempted development.

**The proposed gallops:**

The proposed gallops appears to come within the scope of Class 10 of Part 3 of Article 6 - *Exempted Development Rural* of the Regulations.

**Class 10 of Part 3 of Schedule 2: Exempted development - Rural**

Description of Development	Conditions and Limitations
<b>CLASS 10</b>  The erection of an unroofed fenced area for the exercising or training of horses or ponies, together with a drainage bed or soft surface material to provide an all-weather surface.	 1. No such structure shall be used for any purpose other than the exercising or training of horses or ponies.  2. No such area shall be used for the staging of public events.  3. No such structure shall be situated within 10 metres of any public road, and no entrance to such area shall be directly off any public road.  4. The height of any such structure shall not exceed 2 metres.

With regard to the compliance with the conditions and limitations of Class 10 of Part 3 of Schedule 2 (Exempted Development - Rural) the following assessment sets out how these apply to the current proposal:

1. As per the submitted information the proposed use is for exercise/training of horses.
2. As per the submitted information the proposed gallops is for private use only.
3. As per the submitted information the proposed arena is more than 10m from the public road and is not accessed directly off the public road.
4. Proposed height of the fence is stated at 1.75m.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 10 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended, the proposed gallops as described in this case is considered to be exempted development.

**The proposed roofed manure pit:**

The proposed roofed manure pit appears to come within the scope of Class 8 of Part 3 of Article 6 - *Exempted Development Rural* of the Regulations.

### Class 8 of Part 3 of Schedule 2: Exempted development - Rural

Description of Development	Conditions and Limitations
<p><b>CLASS 8</b></p> <p>Works consisting of the provision of roofless cubicles, open loose yards, self-feed silo or silage areas, feeding aprons, assembly yards, milking parlours or structures for the making or storage of silage or any other structures of a similar character or description, having an aggregate gross floor space not exceeding 200 square metres, and any ancillary provision for effluent storage.</p>	<ol style="list-style-type: none"> <li>1. No such structure shall be used for any purpose other than the purpose of agriculture.</li> <li>2. The gross floor space of such structures together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate.</li> <li>3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and the Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution.</li> <li>4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.</li> <li>5. No such structure within 100 metres of any public road shall exceed 8 metres in height.</li> <li>6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.</li> <li>7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.</li> </ol>

The proposed roofed manure pit is stated as having an area of 74m<sup>2</sup>, with regard to the compliance with the conditions and limitations of Class 8 of Part 3 of Schedule 2 (Exempted Development - Rural) the following assessment sets out how these apply to the current proposal:

1. As per the submitted details the proposed use of the structure is agriculture.
2. The gross floor space of the structure together with any other such structures situated within 100 metres does not exceed 300 square metres gross floor space in aggregate.
3. It is not clear on the site layout drawing provided where the effluent from the manure pit is being stored as drainage line aren't indicated as connecting to the effluent tank.
4. The proposed structure is stated to be more than 10 metres of the public road.
5. The proposed structure is stated to be less than 8 metres in height.
6. The proposed structure is stated as being more than 100m from any house.
7. The proposed structure is painted cladding.

Having reviewed the proposed works in the context of the Conditions and Limitations associated with Class 8 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended, the proposed roofed manure pit as described in this case is considered to be not an exempted development as it is not clear on the site layout drawing provided where the effluent from the manure pit and the existing stables is being stored as drainage line aren't indicated as connecting to the effluent tank.

#### **The entrance to the site and access road**

The observed limited sight distance from this entrance onto the public road, there are concerns that this entrance has the potential for traffic hazard if there is traffic beyond personal use. The entrance is therefore not exempted development in accordance with Article 9 of the Planning and Development Regulations 2001 (as amended).

With Regard to Article 9 (1)(a) of the Planning and Development Regulations, it is reasonable to conclude that on the basis of the information available, it is considered that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for EIA or AA does not apply with respect to the current referral case.

I am satisfied that an Environmental Impact Assessment Report or Natura Impact Statement are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiiB) exclude development which would otherwise be exempted development under these regulations where a NIS is required.

#### **Recommendation**

**WHEREAS a question has arisen as to whether the for an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard at Cloonfad, Leitrim Village, Co. Roscommon is or is not development and is or is not exempted development.**

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) Classes 8, 9 and 10 of Part 3 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act, 2000, as amended
- (e) The planning history of the site

**AND WHEREAS I have concluded that**

- a) The works are development.
- b) The opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works using the existing farm entrance to the existing farmyard as described in this case are **not** exempted developments.
- c) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

and I recommend that a declaration to that effect should be issued to the applicant.

**Signed:**   
Civil Technician

**Date:** 8<sup>th</sup> August 2024

**Signed:**   
Senior Executive Planner

**Date:** 8<sup>th</sup> August 2024















Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



Fionnuala McGuinness,



Date: 19<sup>th</sup> June 2024

Planning Reference: DED 725

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Permission for an opened fenced horse arena, feed & fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farm yard under the Planning & Development Act (Exempt Development) Regulations 2018 at Cloonfad, Leitrim Village, Co. Roscommon.

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A Chara,

I wish to acknowledge receipt of your application which was received on the 17<sup>th</sup> June 2024, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. **L01/0/229135** dated 18<sup>th</sup> June 2024, receipt enclosed herewith.

Please note that due to current resourcing issues, the processing of the Declaration of Exempted Developments has been curtailed at present and applicants will experience delays in the processing of same. We are currently reviewing internal work programmes with a view to resuming normal services as soon as possible, however we cannot provide a timeframe at present.

We sincerely apologise for any inconvenience caused.

**Note:** Please note your Planning Reference No. is **DED 725**.

This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell,  
Senior Executive Planner,  
Planning Department.

cc agent via email: Christopher Kinghan & Associates  
[kinghanchris@yahoo.com](mailto:kinghanchris@yahoo.com)

Roscommon County Council  
Aras an Chontae  
Roscommon  
08066 37100  
\*\*\*\*\*

18/06/2024 10:08:21

Receipt No.: 1.01/0/229135

CHRISTOPHER KINGHAM & ASSOCIATES  
CARRICKNAGOAN  
COOLDERRY PO  
CARRICKMACROSS  
CO. MONAGHAN

PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED 725	

Total : 80.00 EUR

Tendered :  
Credit/Debit Card 80.00  
2704

Change : 0.00

Issued By : Louis Carroll  
From : Central Cash Office



Comhairle Contae  
Ros Comáin  
Roscommon  
County Council

DED 725

Áras an Chontae,  
Roscommon,  
Co. Roscommon  
Phone: (090) 66 37100  
Email: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)

## Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act-2000,  
regarding Exempted Development

Name:	Fionnuala McGuinness
Address:	[REDACTED]
Name & Address of Agent:	Christopher Kinghan Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan.
Nature of Proposed Works	Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard).
Location (Townland & O.S No.)	Cloonfad (Leitrim Village) Map sheet 1674
Floor Area	75 + 74 = 149 sq m
Height above ground level	5.7 metres
Total area of private open space remaining after completion of this development	7 Ha
Roofing Material (Slates, Tiles, other) (Specify)	Agricultural green or grey cladding.
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	Cement grey
Is proposed works located at front/rear/side of existing house.	Class 3 Agricultural exempted development.

## Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,  
regarding Exempted Development

Has an application been made previously for this site	yes
If yes give ref. number (include full details of existing extension, if any)	PD/23/255.
Existing use of land or structure	Agricultural
Proposed use of land or structure	Agricultural
Distance of proposed building line from edge of roadway	100 metres for buildings
Does the proposed development involve the provision of a piped water supply	Yes existing supply mains water by Irish water.
Does the proposed development involve the provision of sanitary facilities	None

Signature: Christopher Kinghan (Agent).

Date: 12th June 2024 All documentation provided is listed on a Schedule of documentation.

Note: This application must be accompanied by:-

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Details specification of development proposed

# Christopher Kinghan & Associates

CHARTERED SURVEYOR

ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan.

A81 E720 Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Our Ref: CK/R /FMG Your Ref:

The Planning Department  
Áras an Chontae  
Roscommon  
County Roscommon  
F42 VR98



Dear Sirs,

Application to Roscommon County Council for Confirmation of Exempted development for Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard). At Cloonfad, Leitrim Village, Co. Roscommon for Fionnuala McGuinness.

In connection with the above planning application we enclose the following documentation:-

**Schedule of Documentation**

**Note all 1 copy unless stated**

- Planning fee €80
- Application form

**Note all 2 copies unless stated**

- Supplemental Agricultural form
- Letter re- Planning History & Source of water supply
- Site Location Map Scale 1:2,500
- Proposed Farm/Site Layout Plan + contours Scale 1:500
- Full Extended Farm/Site Layout Plan + contours Scale 1:500
- Construction Drawings for Open fenced horse arena Scale 1:200
- Construction Drawings for Feed and Fodder shed Scale 1:200
- Drawing for Gallops Scale 1:500
- Construction Drawings for Roofed Manure Pit Scale 1:200
- Gallops Scale 1:500
- Effluent tank : Not to scale
- Standard specification and Safety notes
- Specification for Arena
- Detailed drawing for manure pit walls.
- Desktop Study - Desktop Study - Stage 1 - Statement of Screening for Appropriate Assessment of a nearby Natura designated site.
- Nutrient Management mapping 1:2,500
- SUDS Soakaway trench. Design Schematic only. Not to scale.

We trust the above documentation is satisfactory and look forward to your favourable decision.

A handwritten signature in dark ink, reading 'Christopher Kinghan'.

Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.  
Chartered Surveyor



**ROSCOMMON COUNTY COUNCIL**  
**COMHAIRLE CHONTAE ROS COMAIN**  
Courthouse, Roscommon  
Tel: 090 66 32500 – Fax 090 66 37183  
Email: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)



**Supplementary Planning Application Form 2**  
**(Agricultural Developments)**

This form is to be completed for all applications for agricultural development. Please note that a failure to submit this information will result in delays with the decision making or lead to a refusal of permission.

1. Detailed description of proposed development

(a) Buildings feed and fodder shed and Roofed manure pit.

(b) Other structures (e.g. Pens, Silage Aprons, Crushes, Open Yards) \_\_\_\_\_

Open fenced Horse Arena, gallops and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard).

(c) If the proposed development will be served by an effluent storage tank state:

(i) Size of tank 8,000 gallon tank detailed drawing provided.

(ii) Method of disposal of effluent from tank: e.g. pumped sprinkler, own vacuum tanker on site, borrowed/hired tanker, other (specify)

Agri contractor with tanker/ drill.

2. Gross floor space of proposed development:

(a) Buildings 273 square metres

(b) Other Structures 800 sq m sand arena, concrete yard 199 square metres

(c) Slatted houses only: penned area: Not Applicable square metres

3. Is the proposed development an extension of an existing farm development or within 100 metres of an existing farm development: Yes Yes/No

If Yes state the floor space of existing

(a) Buildings Stables 115 sq m square metres

(b) Other Structures machinery shed 128 sq m square metres

4. State area of land (i.e. size of farm) on which the proposed development will be located: 7.31 ha
5. State maximum number and type of livestock housed or to be housed at any one time in:
- (a) proposed development 10 horses
- (b) Existing development 10 horses
6. Does the proposed development provide for the creation of widening of an access to a public road? Not Applicable Yes/No
7. Will development be connected to:
- (a) E.S.B. supply Yes existing Yes/No
- (b) Water supply Yes mains water existing Yes/No
8. Where farm effluent is to be land spread, state the method used for land spreading. Land registry maps for the lands to be used for spreading should also be submitted in this regard.  
slurry tanker injected into soil - effluent only . Manure spread by agri contractor.
9. Attach 3 copies of Nutrient Management Plan

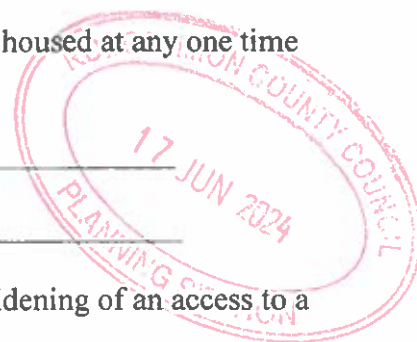
Roofed manure pit can hold 180 c m of manure , lands for spreading detailed on Nutrient management maps 10 horses over 20 weeks storage period at 0.59 c m /week per horse = 118 cm required

### **Declaration and Signature**

I confirm that the details given in this form (and any attachments) are correct.

Signed: Christopher Kinghan  
Carricknagoan,  
Coolderry P.O.,  
Carrickmacross,  
Co. Monaghan.

Date: 12/06/2024



# Christopher Kinghan & Associates

CHARTERED SURVEYOR

ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan.

A81 E720 Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Our Ref: CK/R /FMG Your Ref:

The Planning Department  
Áras an Chontae  
Roscommon  
County Roscommon  
F42 VR98



Dear Sirs,

**Application to Roscommon County Council for Confirmation of Exempted development for Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard). At Cloonfad, Leitrim Village, Co. Roscommon for Fionnuala McGuinness.**

**Planning History**

The applicant is owner of the site and farms all the lands detailed in the nutrient management mapping.

The applicant has agricultural planning history- PD/23/255. The Farm entrance is subject to a Retention application -see Roscommon reference 2460050.

There are no dwellings within 100 meters of the proposed buildings (other than the applicant's proposed dwelling. The Gallups and the All weather arena are for Private use only.

All houses and farmyard within 100 metres of the site are on mains water supply. All septic tanks within 100 metres of the application are detailed on the site location plan Scale: 1:2,500.

Yours faithfully,

A handwritten signature in dark ink that reads 'Christopher Kinghan'.

Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.  
Chartered Surveyor

# Planning Pack Map

Christopher Kingham & Associates

CHARTERED SURVEYOR

ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

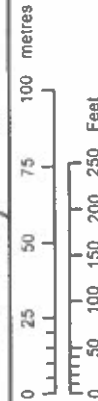
Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720

Tel: 085 164 6179 Email: [kinghanchris@yahoo.com](mailto:kinghanchris@yahoo.com)

## Site Location Plan

Application to Roscommon County Council for Confirmation of Exempted development for Open Fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard at Cloontar, Lettrim Village, Co. Roscommon for Fionnuala McGuinness

Red Line denotes site boundary  
Blue Line denotes farm boundary  
/extent of the lands farmed by the applicant.



OUTPUT SCALE: 1:2,500

**CAPTURE RESOLUTION.**  
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**LEGEND:**  
To view the legend visit [www.cdl.ie](http://www.cdl.ie) and search for 'Large Scale Legend'.



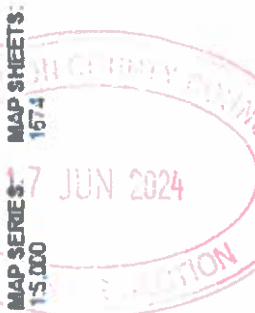
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13/04/2023

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**MAP SERIES:**  
1:5,000

**MAP SHEETS:**  
1674



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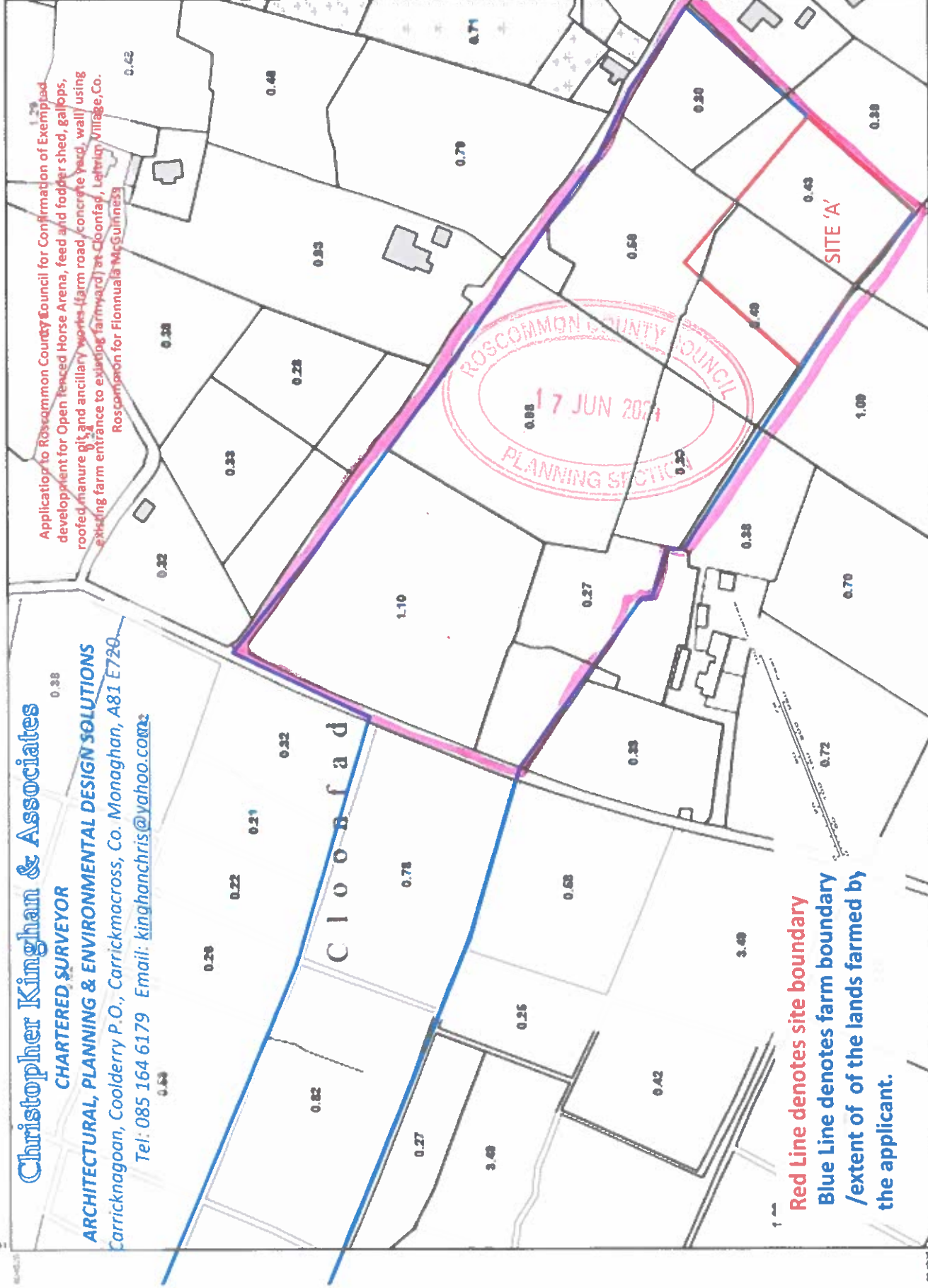
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MAP SERIES: MAP SHEETS:  
1:5,000 1574

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**the applicant.**

**OUTPUT SCALE: 12,500**

**CAPTURE RESOLUTION**  
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www.csi.ca and search for  
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ELEVATIONS & PLAN DRAWINGS  
Scale 1:200 SAND ARENA

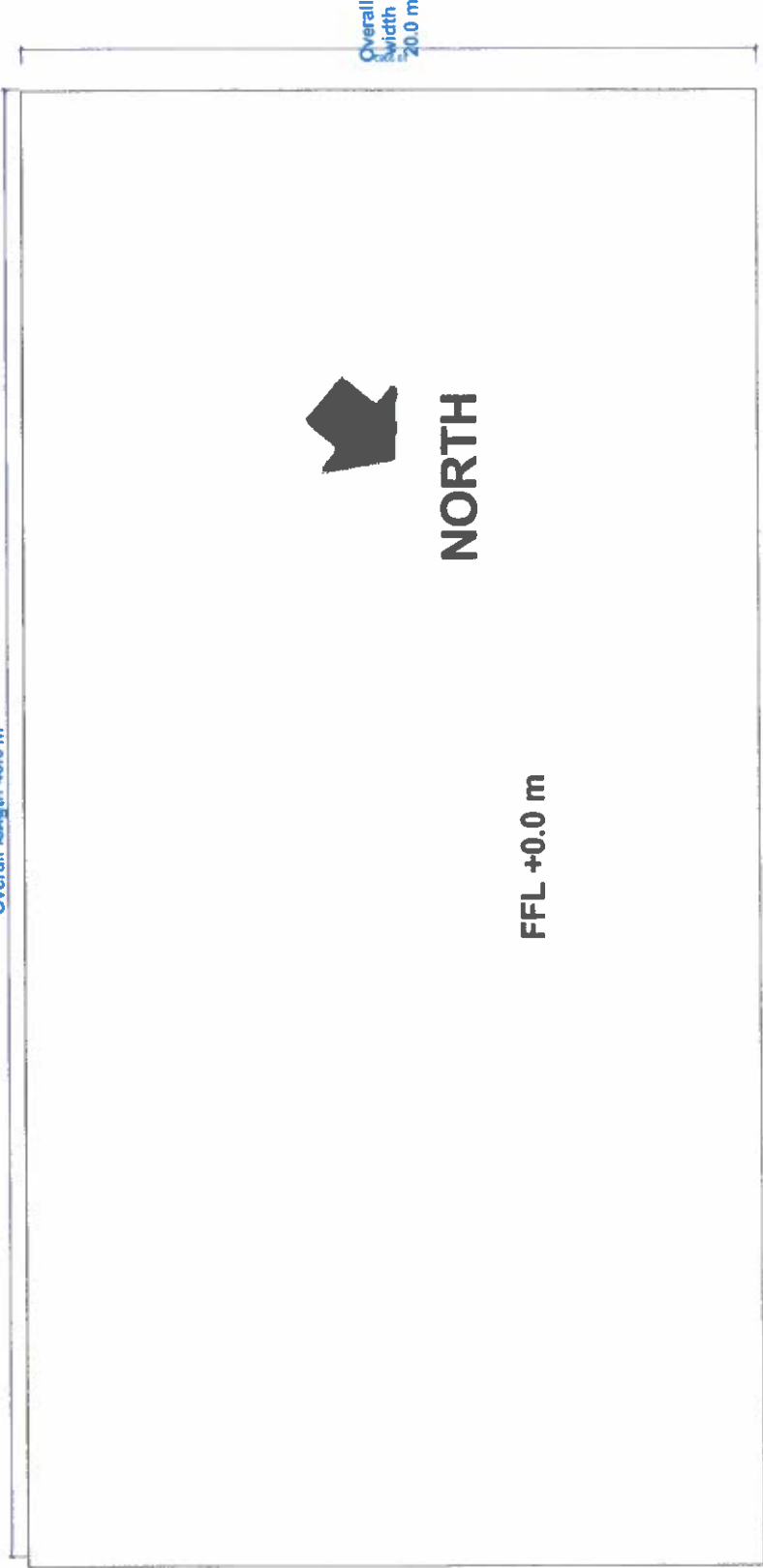
ALL DRAWINGS MUST BE READ IN  
ACCORDANCE WITH SAFETY NOTES  
AND SPECIFICATION.  
SPECIFICATION TAKES PRECEDENCE  
NATURAL VENTILATION AND NATURAL  
LIGHTING TO MEET MINIMUM  
REQUIREMENTS AS LAID DOWN IN  
DEPT OF AGRI SPECIFICATIONS.

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Application to Roscommon County Council for  
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Open fenced Horse Arena, feed and fodder  
shed, gallops, roofed manure pit and ancillary  
works (farm road, concrete yard, wall) using  
existing farm entrance to existing farmyard) at  
Cloonfad, Leirim Village, Co. Roscommon for  
Fionnuala McGuinness

Side Elevation

Overall length 40.0 m



Floor Plan 800 sq m

Overall width 20.0 m



Front Elevation

Overall width 20.0 m



Rear Elevation

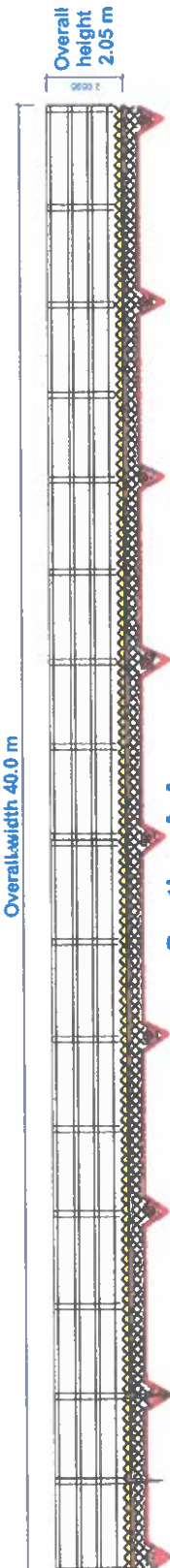
**ELEVATIONS & SECTION AA**  
**DRAWINGS**  
**Scale 1:200 SAND ARENA**



**Side Elevation**

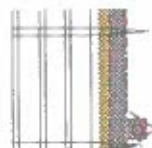


**Side Elevation**



**Section A-A**

Drainage and construction as detailed drawing and notes attached to these drawings. The notes are based on Department of Agriculture specification S.156 and followed in their entirety.



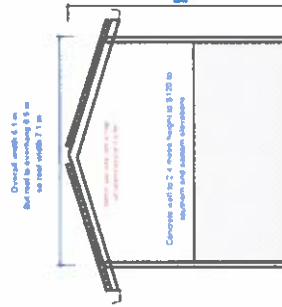
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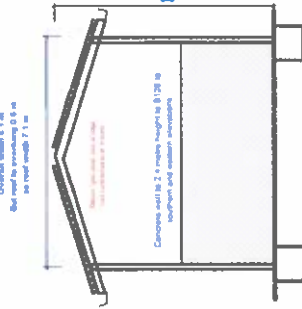


Note overall dimensions are for building Roof overhangs overall dimensions by 0.5 m on all 4 sides of building

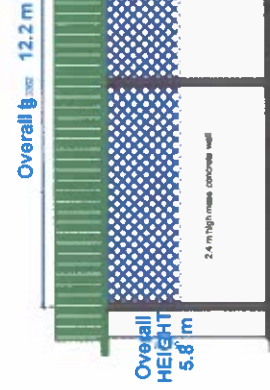
# ELEVATIONS & PLAN DRAWINGS Scale 1:200



Side Elevation



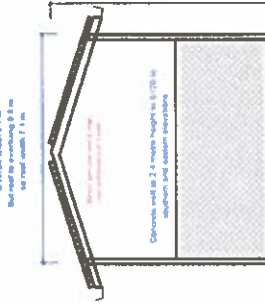
Section A-A



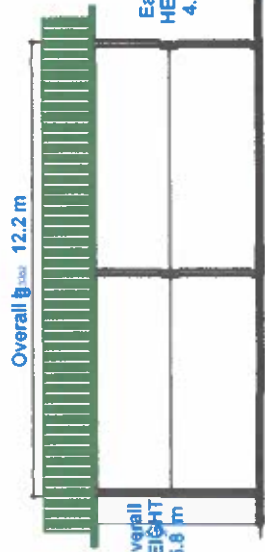
Rear Elevation

Effluent channel to perimeter draining to effluent collection tank

Entrance to pit



Side Elevation



Front Elevation

North



Floor Plan 74 sq m

Minimum roof pitch 15 degrees. The roof shall incorporate an overhang of 0.5m on all sides so as to reduce entry of rainfall. The overhang at the gable may be achieved by cantilevering the purlins in the end bay by 0.5m beyond the gable rafter/truss.  
2 no. Walls are 2.4 m in height and shall be constructed as per Department of Agriculture specification S.120  
Detail drawing for retaining wall to manure pit available on request.  
Entry to the pit is from the North side.  
Roof overhang 0.5 m indicated by dashed line.  
Height at eaves 4.6 m approx (4.8 m at outside of wall). No cladding to sides.  
Channel is maximum 200 mm from outer edge of kerb. Floor is sloped to channel.

Effluent collection from perimeter drainage channels drained to nearest slatted tank.

Concrete thickness 125 mm min. 150 mm max. mastic in joints. channel. Floor bays 4.5 m x 6 m max.



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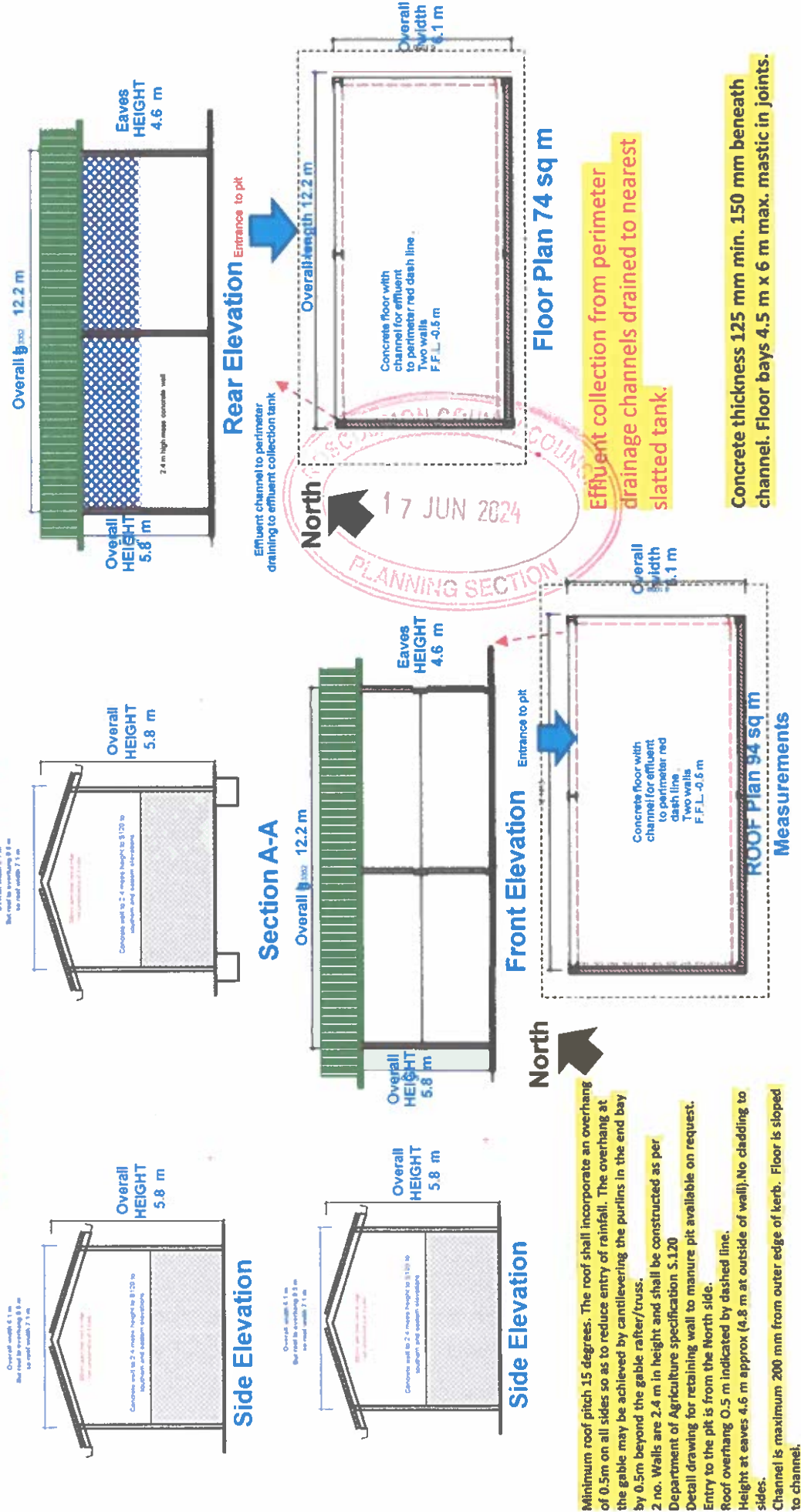
Construct in full accordance with Dept of Agriculture Specification S.101 and S108  
Manure pits and dungsteads - June 2017 (doc 755Kb)

Application to Rosecommon County Council for Confirmation of Exemplified development for Open Fenced Horse Arena, feed and fodder shed, gallops, rooked manure pit and ancillary works (farm road, concrete yard, wall using existing farm entrance to existing farmyard). At Clooriad, Letham Village, Co. Rosecommon for Flannula McGilverie



Note overall dimensions are for building Roof overhangs overall dimensions by 0.5 m on all 4 sides of building

# ELEVATIONS & PLAN DRAWINGS Scale 1:200



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May 2016



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## SPECIFICATION & HEALTH AND SAFETY PLAN

TO BE READ IN CONJUNCTION WITH ALL PLANNING AND CONSTRUCTION DRAWINGS

## SPECIFICATION

**NOTE:** The written specification takes precedence over the drawings – obviously there is far greater construction detail in the written specifications and this detail needs to be met in its entirety. There are various methods to attain structural compliance, ventilation and natural lighting rules. This does not affect the overall building appearance nor does it affect overall dimensions of a building from a Planning compliance viewpoint.

For grant aided work it is an important condition of the grant that the buildings are exactly in the position and the size set out in the drawings associated with the planning application or exemption. Failing to meet this condition jeopardises all the grant monies. Note: All materials used in the construction of buildings to this specification shall be sourced as new.

A simplified sketch can be provided to the builder showing the critical dimensions for setting out the project on request from the Architect. ALL PROPOSED BUILDINGS MUST BE CONSTRUCTED EXACTLY IN THE POSITION AGREED BY THE GRANT OF PLANNING PERMISSION

Farm buildings can be dangerous and specialist work – all builders need to have a full understanding of the Department of Agriculture's specifications.

All elements of construction work to comply with the conditions set out in the Planning Permission or Exemption Notice, Irish Building regulations and the current DEPARTMENT OF AGRICULTURE AND FOOD specifications as follows:

### Dept of Agriculture Farm Building and Structures Specifications

- Health and Safety Guide for Construction Works (pdf 398Kb)
- Listing of dates of when specifications were updated - 30 November 2018 (pdf 133Kb)

### Specifications

- S.100 Concrete Specification - October 2015 (doc 99Kb)
- S.101 Minimum Specifications for the structure of Agricultural Buildings - July 2016 (doc 2,188Kb)
- S.101A Non-Load Bearing Wall Panels for use in Cattle and Sheep Houses - May 2018 (doc 40Kb)
- S.101D Accepted Safety Grids for Under Translucent Sheets - January 2017 (doc 1,027Kb)
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- S.148A Accepted Fencing Posts - August 2018 (doc 67Kb)
- S.156 Minimum specification for horse facilities and fencing. January 2016
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And all other relevant standard specifications from the same source. For example on Precast concrete productions and suitable methods of protection of steel. In all instances the latest available revised specification is to be used.

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It is extremely difficult to alter the design once work has commenced and excavating in rock is often NOT financially justifiable.

These trial holes should be fenced off, stepped in construction to enable anyone who falls in to climb out and left open for 48 hours to ascertain the water table – It may be necessary to agree a method of keeping the excavations free of water whilst constructing the works.

#### DESIGN OF TANKS

##### General Design

A minimum of 16, 18, 20 or 22 weeks storage shall be provided in all new and converted structures in line with the requirements of S.I. 788 of 2005 European Communities (Good Agricultural Practice for Protection of Waters) Regulations and any subsequent amendments to the regulations. However, where the Local Authority has specified a higher winter storage period, then this must be complied with.

##### General note for Buildings over slatted tanks (where applicable)

Walls shall not be built directly onto slats under any circumstances. As walls are not mandatory in most houses steel barriers may instead be installed across the gable end of a building, with or without steel cladding. Prefabricated concrete wall panels may also be installed (Clause B9.2 in S.101), positioned at least 10mm above the top of the slats. If it is decided to install a blockwork or mass-concrete gable wall, then it shall be positioned on a supporting beam. This beam may either be prefabricated, or constructed on site and shall have at least 150 mm support at each end. If it is decided to extend the slats under the beam, there shall be a gap of at least 10mm between the beam and the top of the slats. In all circumstances there shall be sufficient space outside the house to install a 1.2m wide slab or manhole slat on the walls of the extended tank.

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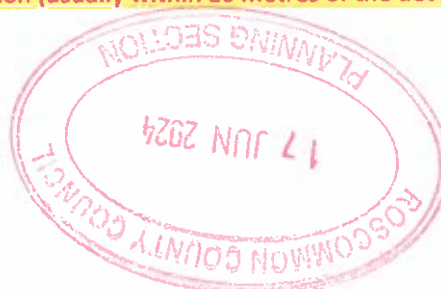
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## SPECIFICATION FOR ALL WEATHER SAND ARENA

TO BE READ IN CONJUNCTION WITH ALL PLANNING AND DETAIL CONSTRUCTION DRAWINGS

### All Weather Arena

Size 40 metres x 20 metres

### Construction

First of all the topsoil needs to be removed, then the whole arena area needs to be levelled to suit the finished floor level of the arena, cutting and filling and utilising suitable subsoil material gained from construction of the other buildings in the farm yard.

The subsoil base must be strong enough to withstand impact damage. It must not break up or add unsuitable material to the surface. The arena should be constructed above ground level to facilitate drainage.

- the fill is compacted with whacker plates. In 200 mm maximum thickness layers.
- the banks formed by the cut are sloped
- the area levelled is at least 1m larger on all sides than the required arena size
- the finished site is level
- run off water cannot ingress into the site. A land drain in clean angular stones, 50mm to 100mm, with no fines around the entire perimeter draining to a soakaway.

### Field Drains

Field drainage should be provided 5m apart under the drainage bed to the entire arena draining to a soakaway.

### Drainage Membrane

A drainage membrane will prevent soil from mixing with and fouling the drainage bed. It should be placed on subsoil that is loose. It shall also line the drainage channels. The membrane should be porous polypropylene and be laid and overlapped to the manufacturer's instructions.

### Drainage Bed

The drainage bed will provide a foundation to the arena and provide space for the rainwater falling on the surface to collect and drain out. Therefore part of the drainage bed must be above ground level. The bed should be constructed of angular stones, 50mm to 100mm, with no fines and not be less than 150mm in depth. The aim is to produce a base surface which is level, solidly locked together, yet porous. It has to provide adequate drainage, but not let any fine material in the surface pass down into the base.

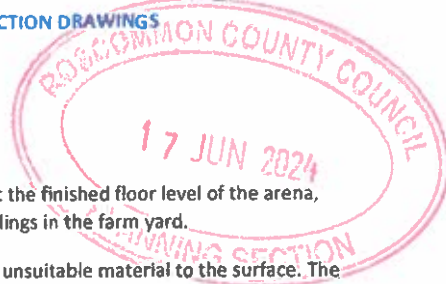
### Boundary

A Fence is not specified. The arena will be open to the field. However, it needs to be protected by a standard electric fence when not in use. Basically there will be a perimeter board only – see retaining board below. There needs to be a gateway minimum width 3 metres in the electric fence.

### Drainage Bed Surface

A drainage membrane placed over the stone drainage bed is strongly recommended. Overlaps should be stitched together and the edges turned up and fixed to the inside of the retaining boards, using batons. A 40-50mm layer of permeable tarmac may be substituted for the drainage membrane.

### Retaining Boards





Retaining boards 40mm thick should be used to confine the surface material. The top of the boards should be 150mm above the finished height of the arena. They should be supported at 1.2m intervals using a combination of posts driven into the ground and the fencing posts. All timber needs to be pressure treated with creosote. Preferably slow grown imported timber (Irish timber is grown to fast and will rot faster). Or a manufactured board or solid plastic material and posts with a minimum guaranteed life of 20 years can be utilised.

#### **Riding Surface**

There are many variations and materials which can be used for the riding surface. Daily usage and maintenance must be considered to be critical factors to balance against price. Also, the monetary value of the horses may be a very significant factor in deciding on the surface material.

The surface should enable the user to carry out all equestrian disciplines in both the best and the worst weather. The speed at which the water drains through the riding surface is paramount to its correct functioning. A surface should suit the needs of the user of the arena.

Obviously, the cost of the surface will also influence the final choice.

The following surface materials are acceptable, (a) wood chips (b) washed sand or clean pit-run sand (c) granulated PVC (d) rubber chips (e) latex covered sand (f) polypropylene fibre (g) combinations of these (h) or other accepted surface.

#### **Maintenance (for information only).**

This is a minimum specification. The only part of the specification where there is a choice, is the surface finish and this will normally depend on available budget. All artificial surfaces need maintenance. Maintenance will determine the quality of going, the effective life of the arena and the frequency with which it can be used. Procedures must take account of weather, type of use, and amount of use. Weather conditions can affect the frequency of watering. Type and amount of use will govern the frequency of levelling, harrowing, or rolling – whichever is appropriate.

All surfaces need keeping level. Some surfaces like the monofilament-bonded sand need periodic rotavation to keep the fibre mixed. This can also apply to blended materials, like PVC with fibre and sand. Other materials like fibred rubber have relatively large particles which tend to stay on top by natural regeneration. A high ratio of fibred rubber in the mix can be used to lay a surface of relatively low volume which allows the use of a roller to keep it level, rather than harrowing to break up the surface. Surfaces bonded with water, wax or oil-based materials will compact to give a dead ride and need harrowing or rotovating to keep the surface open for drainage, and to fluff it up.

Any arena perimeter will tend to build up surplus material. This must be returned to the adjacent track whenever necessary. Most surfaces require a minimum depth either to protect the membrane, or to prevent the surface material being crushed between the horse and the base.

The other maintenance factor is how often you will need to top up or replace the surface. Again, this will vary according to material, usage and the efficiency of interim maintenance.

Whilst all-weather has become the accepted term for 'artificial surfaces' there really is no such thing. The best we can therefore hope for is to construct a surface that will meet most of our requirements most of the time.

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## SPECIFICATION FOR ALL WEATHER SAND ARENA

TO BE READ IN CONJUNCTION WITH ALL PLANNING AND DETAIL CONSTRUCTION DRAWINGS

### All Weather Arena

Size 40 metres x 20 metres

### Construction

First of all the topsoil needs to be removed, then the whole arena area needs to be levelled to suit the finished floor level of the arena, cutting and filling and utilising suitable subsoil material gained from construction of the other buildings in the farm yard.

The subsoil base must be strong enough to withstand impact damage. It must not break up or add unsuitable material to the surface. The arena should be constructed above ground level to facilitate drainage.

- the fill is compacted with whacker plates. In 200 mm maximum thickness layers.
- the banks formed by the cut are sloped
- the area levelled is at least 1m larger on all sides than the required arena size
- the finished site is level
- run off water cannot ingress into the site. A land drain in clean angular stones, 50mm to 100mm, with no fines around the entire perimeter draining to a soakaway.

### Field Drains

Field drainage should be provided 5m apart under the drainage bed to the entire arena draining to a soakaway.

### Drainage Membrane

A drainage membrane will prevent soil from mixing with and fouling the drainage bed. It should be placed on subsoil that is loose. It shall also line the drainage channels. The membrane should be porous polypropylene and be laid and overlapped to the manufacturer's instructions.

### Drainage Bed

The drainage bed will provide a foundation to the arena and provide space for the rainwater falling on the surface to collect and drain out. Therefore part of the drainage bed must be above ground level. The bed should be constructed of angular stones, 50mm to 100mm, with no fines and not be less than 150mm in depth. The aim is to produce a base surface which is level, solidly locked together, yet porous. It has to provide adequate drainage, but not let any fine material in the surface pass down into the base.

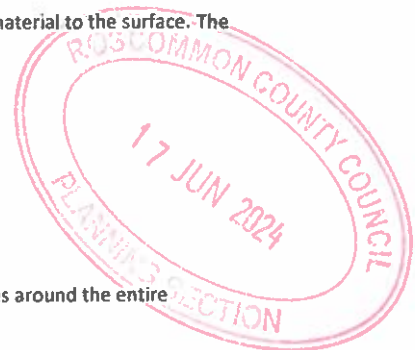
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### Drainage Bed Surface

A drainage membrane placed over the stone drainage bed is strongly recommended. Overlaps should be stitched together and the edges turned up and fixed to the inside of the retaining boards, using batons. A 40-50mm layer of permeable tarmac may be substituted for the drainage membrane.

### Retaining Boards



Reta boards 40mm thick should be used to confine the surface material. The top of the boards should be 150mm above the finished height of the arena. They should be supported at 1.2m intervals using a combination of posts driven into the ground and the fencing posts. All timber needs to be pressure treated with creosote. Preferably slow grown imported timber (Irish timber is grown to fast and will rot faster. Or a manufactured board or solid plastic material and posts with a minimum guaranteed life of 20 years can be utilised.

#### Riding Surface

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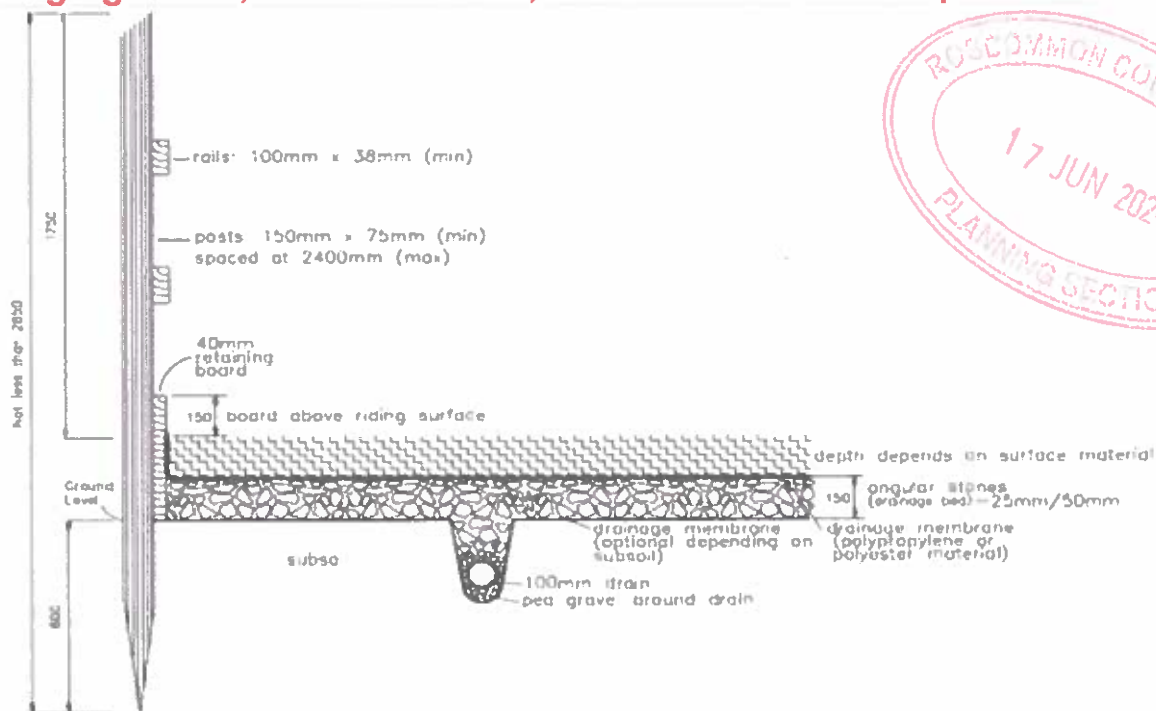
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**Note: The full Department of Agriculture Specification S156 January 2016 2008 should be followed in their entirety. Also the Specification Notes for sand Arenas which form part of the Planning application.**

## Lunging Areas, Exercise Areas, and All-Weather Gallops Notes.



**The TAMS 3 specification requirements take precedence and will mainly be based on Specification S.156.**

### Site

Sites for stables or housing shall be dry, not subject to flooding, and convenient to fodder, waste storage, and other facilities. Clean water from roofs and yards shall be piped away to avoid contamination with soiled surfaces.

Sites for Lunging Areas or Special Exercise Areas shall be dry, level, not subject to flooding, and be convenient to stables or housing.

Sites for Gallops shall be dry and not subject to flooding.

For safety considerations Lunging Areas, Special Exercise Areas, and Gallops shall be sited at least 10m from any public road. The above sites shall be adjacent to either a surfaced roadway, or to a drained and gravelled pathway.

### Shelter and Run / Exercise Area

#### 8.1 Shelter Construction

The shelter shall be constructed to the Department of Agriculture, Food and the Marine specification S101 and clause 6 of this specification. The run or exercise area shall be adjacent to the shelter where the animal will have access to at all times. Please refer to item 6.2 for detailed requirements of the building structure. Please note that there is no requirement for tack rooms, feed storage, or an apron in this building. The building can be fitted with Department's approved internal stables arrangement if required.

#### 8.1.1 Space Requirements

The minimum floor area required is as per item 6.1.3 Loose Housing.

#### 8.2 Run / Exercise Area

This area shall be constructed to standard outlined in item 9.4.1-7 Construction of All Weather Surfaces. The maximum stocking density for the run / exercise area shall not exceed 80m<sup>2</sup>/adult horse.

#### 8.2.1 Fencing

Fencing around the run / exercise area is to the Department of Agriculture, Food and the Marine specification S148. Timber post and rail horse fencing may be used but is not a requirement.

#### 9.1 Lunging Area

Lunging areas shall be either circular with minimum diameter 15m, or as square as possible with minimum dimensions of 15m x 15m and shall have an all weather surface. Where possible, a 20m square, or diameter, is recommended.

#### 9.2 Exercise Area

Specially fenced separate exercise areas shall have a minimum size of 350m<sup>2</sup> and a shorter side of at least 15m. The riding area may be in grass or an all weather surface.

#### 9.3 Gallop

All-weather gallops shall be a minimum 3m wide. A straight gallop shall be at least 500m long. A circular or oval gallop shall be at least 400m long, measured on the inner circumference. It is recommended that, where land is available, gallops should be about 800m long. Gallops are normally fenced, but such fencing is optional. The riding area may be in grass or an all weather surface.

#### 9.4 Construction of an All Weather Surface

##### 9.4.1 All-Weather Surface

All-weather construction, as specified below shall be provided for all lunging areas and gallops. Field drainage for lunging areas may also need to be incorporated on certain sites, and is normally required for gallops. Exercise areas may be constructed with an all-weather surface, or be left in grass.

##### 9.4.2 Lower Drainage Membrane

A lower drainage membrane shall be used when the stone drainage bed is put directly onto topsoil, in order to prevent the mixing of stones and soil. Where topsoil is removed, and the base is firm, this lower membrane is not essential. The membrane shall be of porous polypropylene or polyester material, e.g.: Polybrane or equivalent, and shall be laid and overlapped to the manufacturer's instructions.

##### 9.4.3 Field Drainage

Field drainage shall be provided under the drainage bed for both lunging areas and all-weather exercise areas, where site considerations or local high rainfall may require rapid drainage. It is recommended that the spacing of field drainage channels does not exceed 5m. The drainage pipes used shall have a min diameter of 100mm and when layed the pipes shall be surrounded by a layer of 'Pea Gravel' as per figure 5. Basic field drainage shall be provided in all gallops unless percolation tests show that drainage is not required. The simple Percolation Test as described in EPA Wastewater Treatment Manual (Single House Systems) may be used for Percolation Tests. A field drain shall be provided in the centre of a linear gallop, or on the inner edge of a circular gallop. A pattern of herringbone drains may be connected to the main field drain in any part of the gallop where ground conditions are suspect. All drainage systems shall outfall to an adjacent drain or watercourse, or to an adequate soakpit. In a circular gallop the main drainage bed, the membrane, and the surface, shall all be laid on a slight incline (2o-3o) towards the inner edge.

##### 9.4.4 Drainage Bed

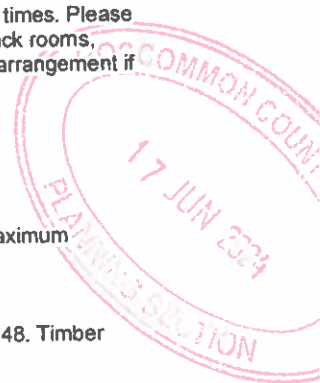
The drainage bed shall be constructed of angular stones, 25mm to 50mm, with no fines, and shall be not less than 150mm in depth. The top of the drainage bed shall preferably be above ground level in lunging and all-weather exercise areas.

##### 9.4.5 Upper Drainage Membrane

An upper drainage membrane, as specified in section 9.4.2, shall be placed over the stone drainage bed. Overlaps of the material shall be stitched together, and the edge of the membrane shall be turned up and fixed to the inside of the surface retaining board, using batons. Alternatively, a 40-50mm layer of permeable tarmac may be substituted for the upper drainage membrane. [Macadam to comply with BS 4987, Part 1:1993, Tables 17, 18, 19. e.g. Group 3:-14mm open graded macadam]. A 30mm layer of sand shall first be consolidated over the stone drainage bed before the tarmac is laid.

##### 9.4.6 Retaining Boards

Creosote Treated Surface Retaining Boards, 40mm thick, shall be used to confine the surface material. The top of these retaining boards shall be 150mm above the finished height of the exercise area. These boards shall be supported at 1.2m intervals using a combination of posts driven into the ground and the fencing posts. Retaining Boards are optional on gallops. Where they are not provided the side earth shall be banked at about 60o, and the all-weather surface shall finish at 50-75mm below ground level.



#### **9. Surface Material**

All riding surfaces shall be a minimum of 350mm deep. The following surface materials are acceptable (a) Wood chips; (b) Washed sand, or clean pit-run sand; (c) Granulated PVC; (d) Rubber chips; (e) Latex covered sand; (f) combinations of these; (g) crushed glass (diameter 0.1-2.0mm, only purchased from accepted manufacturers); (h) polypropylene fibres, or other accepted surface. Wood chips, PVC, and rubber chips, shall be of a size to pass through a 15mm screen. Bark, peelings, rubber tiles or sawdust are not acceptable. Washed sand, or clean pit-run sand, shall be totally free of soil, and be laid to a minimum depth of 225mm., with a surface slope of 1 in 60. Sand shall be uniform grade (80% approx. between 0.15mm – 0.5mm particle size). Limestone sand will require more maintenance than non-lime sand, and should be avoided if possible.

#### **9.4.8 Fencing of Lunging/ Exercise Areas**

All fencing shall be to the standard as outlined in the Department of Agriculture, Food and the Marine specification S148. All post and rail fencing shall also comply with Irish Standard I.S. 437. Only cresote treatment is accepted for this type of fencing. Fences shall be at least 1.75m high, and be constructed as Post and Rail Fences with a minimum of 3 rails or of proprietary prefabricated fencing. The height of the fence shall be measured from the ground level from the top of the riding surface to the top of the top rail (See figure 5). 12

#### **9.4.9 Post and Rail Fence**

Posts shall be rectangular, minimum dimensions 150mm x 75mm (preferably 150mm x 100mm), be at least 2.55m long, and be placed 0.8m into the ground. Rails shall be 100mm by 38mm. Maximum spacing of posts is 2.4m. Galvanised nails or screws shall be used. Rails shall be on the arena side of the fence. Post and rail fences may be constructed of proprietary PVC systems that have been previously accepted by the Department.

#### **9.4.10 Gates**

Gates in lunging/exercise areas shall open both inwards and outwards; shall be at least 3m wide; shall be unsheeted; and when erected they shall be at least 1.75m high. Gates may be of wood or galvanised steel. Wooden gates shall have 4 horizontal 100mm x 40mm rails and be suitably constructed and braced. Steel gates shall be heavy-duty type, and otherwise conform to IS 155:1967.

#### **9.4.11 Prefabricated fence**

A concrete foundation ring, minimum of 300mm wide and 150mm deep shall be formed along the entire edge of the lunging area. The fence must be so manufactured that each element can be set into the concrete foundation ring at time of pouring the concrete. Under no circumstances can the fence simply be bolted to the concrete foundation ring. All fences shall be set down to a depth of 100mm into concrete ring.



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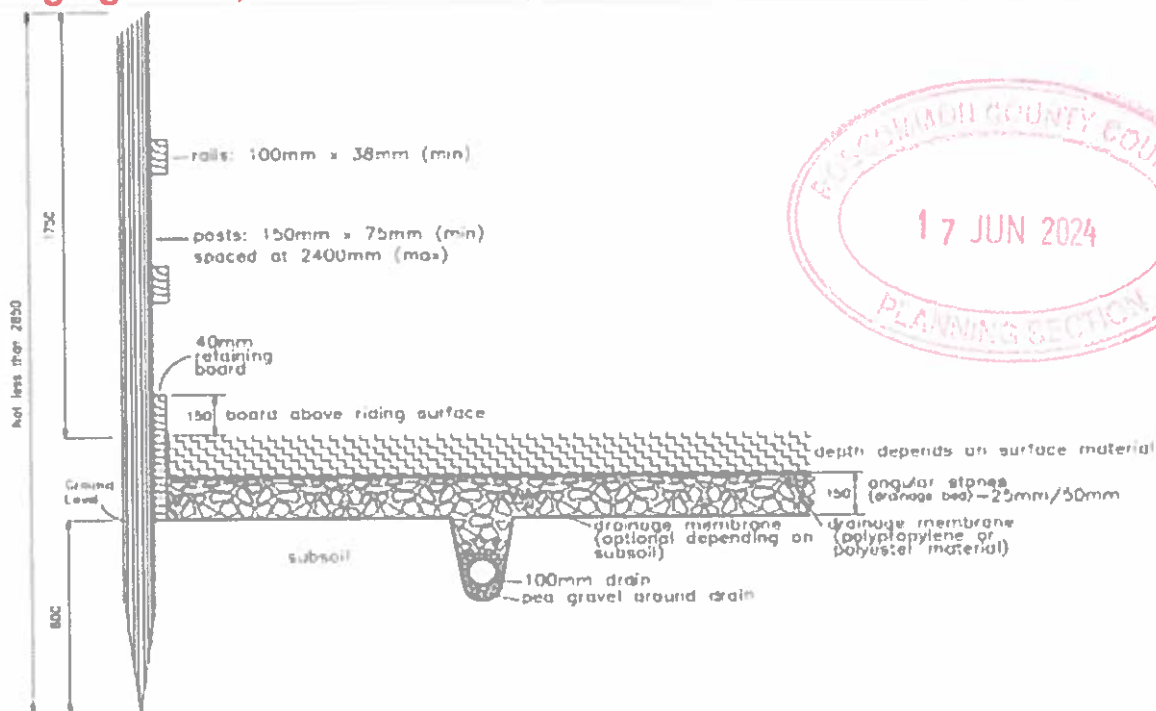
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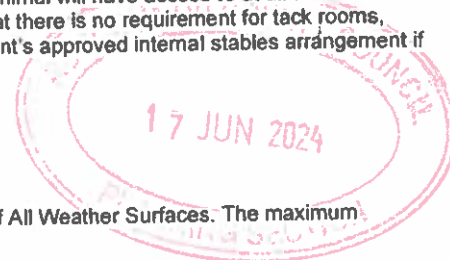
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Desktop Study – Stage 1 - Statement of Screening for Appropriate Assessment of a nearby Natura designated site.

Part 2 of Desktop study. Organic Waste Nutrient Management Plan for the purpose of Planning Applications for Agricultural Development in accordance with Good Agricultural Practice Regulations Statutory Instrument No. 610 of 2010

Application to Roscommon County Council for Confirmation of Exempted development for Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard at Cloonfad, Leitrim Village, Co. Roscommon for Fionnuala McGuinness.

## Part 1 of Desktop study.

### Stage 1 - Statement of Screening for Appropriate Assessment – Summary

#### Section 1 INTRODUCTION

The actual Assessment commences on Page 3. The notes on Pages 1 and 2 detail the reasons and methodology of the need for this natura assessment.

With the introduction of the Habitats Directive (Council Directive 92/43/EEC on the Conservation of natural habitat and of wild fauna and flora) came the obligation to establish the Natura 2000 network of Sites of Community Interest (SCIs), comprising a network of areas of highest biodiversity importance for rare and threatened habitats and species across the European Union (EU).

In Ireland, the Natura 2000 network of sites comprises Special Areas of Conservation (SACs, including candidate SACs) designated under domestic legislation transposing Directive 92/43/EEC, and Special Protection Areas (SPAs, including proposed SPAs) classified under the Birds Directive (Council Directive 2009/147/EC on the conservation of wild birds) and designated under the same domestic legislation.

SACs are designated for the conservation of Annex I habitats (including priority types which are in danger of disappearance) and Annex II species (other than birds). SPAs are designated for the conservation of Annex I birds and other regularly occurring migratory birds and their habitats. The annexed habitats and species for which each site is designated correspond to the qualifying interests of the sites; from these the conservation objectives of the site are derived.

SACs and SPAs make up the pan-European network of Natura 2000 sites. It should be noted that 'European sites' are defined in Regulation 2(1) of the European Communities (Birds and Natural Habitats) Regulations 2011, as amended ('the 2011 Regulations') and Section 177R of the Planning and Development Act 2000, as amended ('the 2000 Act').

#### 1.1 Appropriate Assessment

##### 1.1.1 The Habitats Directive

A key protection mechanism in the Habitats Directive is the requirement to subject plans and projects to Appropriate Assessment (AA) in line with the requirements of Article 6(3) of the Habitats Directive, which requires that--

This desktop study is concerned only with **Stage 1 - Screening for Appropriate Assessment**: An initial or preliminary assessment of the project or plan's effect on a European site(s). If it cannot be concluded that there will be no significant effect upon a European site, then an appropriate assessment of the implications of a plan or project must be conducted.

#### 1.2 Document Structure

##### Methodology and Guidance

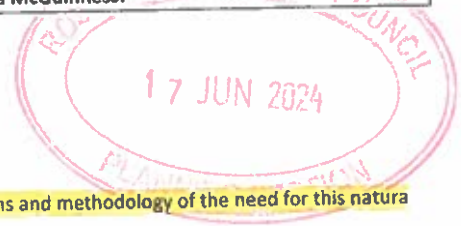
Section 2 of the document, sets out the methodology followed and guidance documents used in conducting a screening appraisal for appropriate assessment and subsequent appraisal for appropriate assessment of the implications of the proposed development on European sites.

##### Proposed Development

Section 3 of the report describes the proposed development, the general methodology sequence and activities to be undertaken.

##### Stage 1 Screening Appraisal

Section 4 of the report contains a preliminary examination and analysis to understand whether or not the proposed development is likely to have a significant effect on any European site. This is the screening appraisal for appropriate assessment. It has been undertaken in view of best scientific knowledge, in light of the Conservation Objectives of the sites concerned and considers the proposed development individually or in combination with other plans and projects. In accordance with EC guidance and settled case law of the CJEU, measures



ended to avoid or reduce the harmful effects of the proposed development on European sites, (i.e. "mitigation measures") or best practice measures have not been taken into account in the screening stage appraisal.

## Section 2 METHODOLOGY

### 2.1 Published guidance on Appropriate Assessment

Appropriate Assessment Guidelines for Planning Authorities have been published by the Department of the Environment Heritage and Local Government and more recently by the Office of the Planning Regulator Practice Note (PN01) (OPR, 2021). In addition to the advice available from the Department, the European Commission has published a number of documents which provide a significant body of guidance on the requirements of Appropriate Assessment.

This Stage 1 Screening Appraisal is carried out in conformity with this guidance.

### 2.2 Likely Significant Effect

The Commission's 2018 Notice (EC, 2019) advises that the appropriate assessment procedure under Article 6(3) is triggered not by the certainty but by the likelihood of significant effects, arising from plans or projects regardless of their location inside or outside a protected site. Such likelihood exists if significant effects on the site cannot be excluded. The significance of effects should be determined in relation to the specific features and environmental conditions of the site concerned by the plan or project, taking particular account of the site's conservation objectives and ecological characteristics.

The threshold for a Likely Significant Effect ("LSE") is treated in the screening exercise as being above a de minimis level. A de minimis effect is a level of risk that is too small to be concerned with when considering ecological requirements of an Annex I habitat or a population of Annex II species present on a European site necessary to ensure their favourable conservation condition. If low level effects on habitats or individuals of species are judged to be in this order of magnitude and that judgment has been made in the absence of reasonable scientific doubt, then those effects are not considered to be LSEs.

The analysis involved in a Stage 1 screening appraisal for Appropriate Assessment is described in EC (2021) as comprising four steps:

- ascertaining whether the plan or project is directly connected with or necessary to the management of a Natura 2000 site;
- identifying the relevant elements of the plan or project and their likely impacts;
- identifying which (if any) Natura 2000 sites may be affected, considering the potential effects of the plan or project alone or in combination with other plans or projects;
- assessing whether likely significant effects on the Natura 2000 site can be ruled out, in view of the site's conservation objectives. Case law of the Court of Justice of the European Union (CJEU) has confirmed that a significant effect is triggered when:
  - there is a probability or a risk of a plan or project having a significant effect on a European site;
  - the plan is likely to undermine the site's conservation objectives; and
  - a significant effect cannot be excluded on the basis of objective information. EC (2021) defines a LSE as being "any effect that may reasonably be predicted as a consequence of a plan or project that would negatively and significantly affect the conservation objectives established for the habitats and species significantly present on the Natura 2000 site. This can result from either on-site or offsite activities, or through combinations with other plans or projects". The requirement that the effect in question be 'significant' exists in order to lay down a de minimis or negligible threshold – thus, plans or projects that have no appreciable or imperceptible effects on the site are thereby excluded.

2.3 Mitigation Measures In determining whether or not likely significant effects will occur or can be excluded in the Stage 1 appraisal, measures intended to avoid or reduce the harmful effects of the proposed development on European sites, (i.e. "mitigation measures") or best practice measures have not been taken into account in this screening stage appraisal. This approach is consistent with up-to-date EU guidance (EU, 2019; EC, 2021) and the case law of the Court of Justice of the European Union (CJEU).

EC (2001) states that "project and plan proponents are often encouraged to design mitigation measures into their proposals at the outset. However, it is important to recognise that the screening assessment should be carried out in the absence of any consideration of mitigation measures that form part of a project or plan and are designed to avoid or reduce the impact of a project or plan on a Natura 2000 site". This direction in the European Commission's guidance document is unambiguous in that it does not permit the inclusion of mitigation at screening stage.

In April 2018, the Court of Justice of the European Union issued a ruling in case C-323/17 People Over Wind & Peter Sweetman v Coillte Teoranta ("People Over Wind") that Article 6(3) of Directive 92/43/EEC must be interpreted as meaning that, in order to determine whether it is necessary to carry out, subsequently, an appropriate assessment of the implications, for a site concerned, of a plan or project, it is not appropriate, at the screening stage, to take account of the measures intended to avoid or reduce the harmful effects of the plan or project on that site.

The judgment in People Over Wind is further reinforced in EC (2019) and EC (2021) which refers to CJEU Case C-323/17.



Therefore, in consideration of the above, no mitigation measures will be considered in the Stage 1 screening. It is also pointed out prior to commencement of this study that there is no change in stocking rates proposed on this farm, nor any change in the amounts of animal nutrients or the nature of the animal nutrients applied on or into the land by this project.

The maps and data utilised in this Stage 1 screening appraisal are all obtained from <https://www.npws.ie/maps-and-data>

Section 3 describing the proposed development, the general methodology sequence and activities to be undertaken.

Description of proposed development (which is supported by all the planning documentation listed in the cover letter to the planning department:

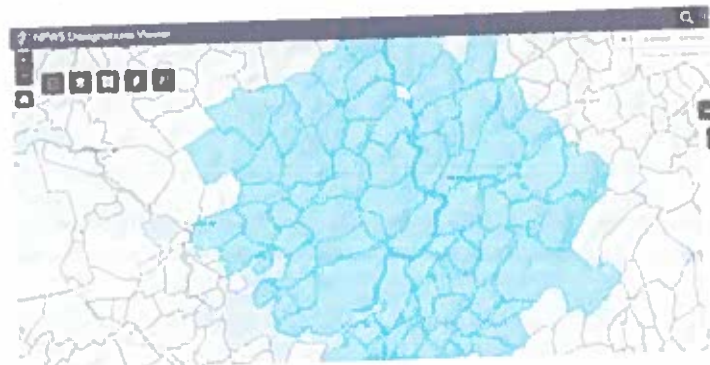
**Proposed Development, development activities-** all construction works will be constructed as one project : Application to Roscommon County Council for Confirmation of Exempted development for Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard) at Cloonfad, Leitrim Village, Co. Roscommon for Fionnuala McGuinness.

**Section 4. Identification of all Natura 2000 sites located on or near (1km) to the applicant site**

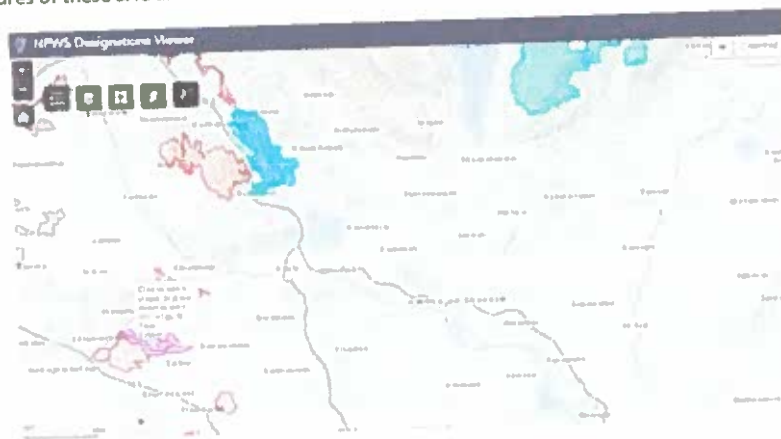
None on farm or within 1 km circle of site See map below : Glenboy is in the centre of the map and is shaded in blue.



**Identification of all Natura 2000 sites located near (within 3 km) to the applicant site** – None within 3 km circle of site 0 no. SPA and 0 no. SACs The main features of these SAC and SPA sites are detailed and examined below.



**Identification of all Natura 2000 sites located near (within 15 km) to the applicant site** – 3 no. within 15 km circle of site 1 no. SPA and 2 no. SACs The main features of these SAC and SPA sites are detailed and examined below.



ne sites identified and not already described are a considerable distance from the site. As such it is sufficient to name and identify the sites.

SITECODE	▲	SITE_NAME
004050		Lough Arrow SPA

SITECODE	▲	SITE_NAME
000584		Culcagh - Anierin Uplands SAC
001673		Lough Arrow SAC

Map detailing natura sites within 15 km of project site shaded in blue. I have examined the 1 no. SPA and 2 no. SACs natura sites which are within 15 km of this site. The applicant farms outside all the SAC SPA areas. The farm activities pose no threat to these natura sites.

**Assessment of likely effects** Note: A ☒ means that the development poses no risk provided that the development is constructed in full accordance with the full Planning documentation and conditions of the Planning Permission.

Examples of effects that are likely to be significant, that have been considered by this study are:

- ☒ Any impact on an Annex I habitat
- ☒ Causing reduction in the area of the habitat or Natura 2000 site
- ☒ Causing direct or indirect damage to the physical quality of the environment (e.g. water quality and supply, soil compaction) in the Natura 2000 site
- ☒ Causing serious or ongoing disturbance to species or habitats for which the Natura 2000 site is selected (e.g. increased noise, illumination and human activity)
- ☒ Causing direct or indirect damage to the size, characteristics or reproductive ability of populations on the Natura 2000 site
- ☒ Interfering with mitigation measures put in place for other plans or projects



#### 1. Screening statement with conclusions

The applicant is a small sized equine farmer. The farm is extensively stocked, a large proportion of the land is standard permanent Leitrim pasture, although it is all in the process of being reseeded, none of the land farmed is in the form of shared commonage. As stated at the beginning of this Stage 1 assessment, no mitigation measures will be considered in the Stage 1 screening.

It has also been pointed out prior to commencement of this study that there is no change in stocking rates proposed on this farm, nor any change in the amounts of animal nutrients or the nature of the animal nutrients applied on or into the land by this project. Whether this project goes ahead or not the horses still graze the land as they have always done and their nutrients are deposited on the land.

The farm is typical to this area. It will be farmed in an environmentally responsible manner. 1<sup>st</sup> stage Screening establishes that there is no potential for significant effects and the project can proceed as proposed. However, no changes may be made after this as this will invalidate the findings of screening.

**Conclusion :** I recommend that the AA process ends at the Stage 1 Screening stage because my conclusion is that no significant effects are likely.

#### 2. Name, address and qualifications of the person who prepared the "Statement for Screening" / "Statement for Appropriate Assessment"

Date: 12th June 2024  
Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.  
Chartered Surveyor  
Christopher Kinghan & Associates CHARTERED SURVEYOR

ricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan. Tel: 085 164 6179 Email: kinghanchris@yahoo.com

3. Signature of applicant (and any co-applicant where applicable) or agent

Signed  Agent

On behalf of Applicant

### Sources

<http://www.npws.ie/protected-sites/sac>

## Part 2 of Desktop study.

Organic Waste Nutrient Management Plan for the purpose of Planning Applications for Agricultural Development in accordance with Good Agricultural Practice Regulations Statutory Instrument No. 610 of 2010

Roscommon County Council has their own Waste nutrient management plan. Therefore, that document supercedes the need for Part 2 of this desktop study as it deals with the same issues.



# Christopher Kinghan & Associates

CHARTERED SURVEYOR

ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720

Tel: 085 164 6179 Email: kinghanchris@yahoo.com

Desktop Study – Stage 1 - Statement of Screening for Appropriate Assessment of a nearby Natura designated site.

Part 2 of Desktop study. Organic Waste Nutrient Management Plan for the purpose of Planning Applications for Agricultural Development in accordance with Good Agricultural Practice Regulations Statutory Instrument No. 610 of 2010

Application to Roscommon County Council for Confirmation of Exempted development for Open fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard) at Cloonfad, Leitrim Village, Co. Roscommon for Fionnuala McGuinness.

## Part 1 of Desktop study.

### Stage 1 - Statement of Screening for Appropriate Assessment – Summary

#### Section 1 INTRODUCTION

The actual Assessment commences on Page 3. The notes on Pages 1 and 2 detail the reasons and methodology of the need for this natura assessment.

With the introduction of the Habitats Directive (Council Directive 92/43/EEC on the Conservation of natural habitat and of wild fauna and flora) came the obligation to establish the Natura 2000 network of Sites of Community Interest (SCIs), comprising a network of areas of highest biodiversity importance for rare and threatened habitats and species across the European Union (EU).

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The analysis involved in a Stage 1 screening appraisal for Appropriate Assessment is described in EC (2021) as comprising four steps:

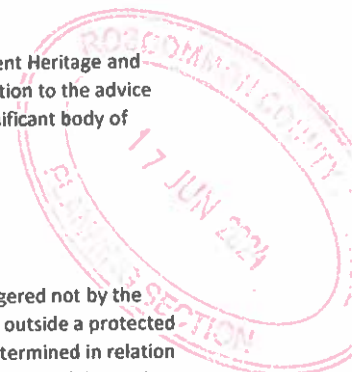
- ascertaining whether the plan or project is directly connected with or necessary to the management of a Natura 2000 site;
- identifying the relevant elements of the plan or project and their likely impacts;
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EC (2001) states that "project and plan proponents are often encouraged to design mitigation measures into their proposals at the outset. However, it is important to recognise that the screening assessment should be carried out in the absence of any consideration of mitigation measures that form part of a project or plan and are designed to avoid or reduce the impact of a project or plan on a Natura 2000 site". This direction in the European Commission's guidance document is unambiguous in that it does not permit the inclusion of mitigation at screening stage.

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The judgment in People Over Wind is further reinforced in EC (2019) and EC (2021) which refers to CJEU Case C-323/17.



Therefore, in consideration of the above, no mitigation measures will be considered in the Stage 1 screening. It is also pointed out prior to commencement of this study that there is no change in stocking rates proposed on this farm, nor any change in the amounts of animal nutrients or the nature of the animal nutrients applied on or into the land by this project.

The maps and data utilised in this Stage 1 screening appraisal are all obtained from <https://www.npws.ie/maps-and-data>

Section 3 describing the proposed development, the general methodology sequence and activities to be undertaken.

Description of proposed development (which is supported by all the planning documentation listed in the cover letter to the planning department:

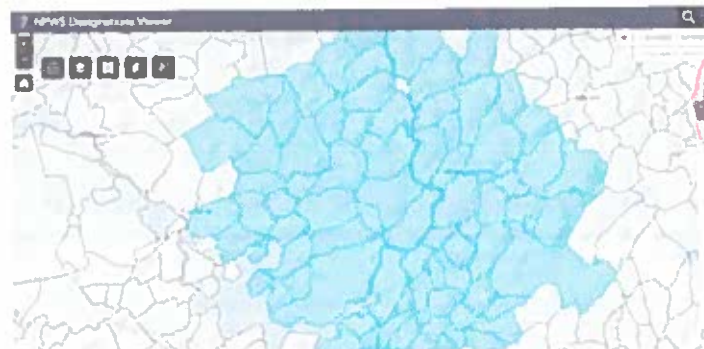
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Section 4. Identification of all Natura 2000 sites located on or near (1km) to the applicant site

None on farm or within 1 km circle of site See map below : Glenboy is in the centre of the map and is shaded in blue.



Identification of all Natura 2000 sites located near (within 3 km) to the applicant site – None within 3 km circle of site 0 no. SPA and 0 no. SACs The main features of these SAC and SPA sites are detailed and examined below.



Identification of all Natura 2000 sites located near (within 15 km) to the applicant site – 3 no. within 15 km circle of site 1 no. SPA and 2 no. SACs The main features of these SAC and SPA sites are detailed and examined below.



ites identified and not already described are a considerable distance from the site. As such it is sufficient to name and identify the sites.

SITECODE	SITE_NAME
004050	Lough Arrow SPA

SITECODE	SITE_NAME
000384	Cullcagh - Anierin Uplands SAC
001573	Lough Arrow SAC

Map detailing natura sites within 15 km of project site shaded in blue. I have examined the 1 no. SPA and 2 no. SACs natura sites which are within 15 km of this site. The applicant farms outside all the SAC SPA areas. The farm activities pose no threat to these natura sites.

**Assessment of likely effects** Note: A ☒ means that the development poses no risk provided that the development is constructed in full accordance with the full Planning documentation and conditions of the Planning Permission.

Examples of effects that are likely to be significant, that have been considered by this study are:

- ☒ Any impact on an Annex I habitat
- ☒ Causing reduction in the area of the habitat or Natura 2000 site
- ☒ Causing direct or indirect damage to the physical quality of the environment (e.g. water quality and supply, soil compaction) in the Natura 2000 site
- ☒ Causing serious or ongoing disturbance to species or habitats for which the Natura 2000 site is selected (e.g. increased noise, illumination and human activity)
- ☒ Causing direct or indirect damage to the size, characteristics or reproductive ability of populations on the Natura 2000 site
- ☒ Interfering with mitigation measures put in place for other plans or projects



#### 1. Screening statement with conclusions

The applicant is a small sized equine farmer. The farm is extensively stocked, a large proportion of the land is standard permanent Leitrim pasture, although it is all in the process of being reseeded, none of the land farmed is in the form of shared commonage. As stated at the beginning of this Stage 1 assessment, no mitigation measures will be considered in the Stage 1 screening.

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**Conclusion :** I recommend that the AA process ends at the Stage 1 Screening stage because my conclusion is that no significant effects are likely.

#### 2. Name, address and qualifications of the person who prepared the "Statement for Screening"/"Statement for Appropriate Assessment"

Date: 12th June 2024  
Christopher Kinghan B.Sc.(Hons) A.R.I.C.S.  
Chartered Surveyor  
Christopher Kinghan & Associates CHARTERED SURVEYOR

Ca nagoan, Coolderry P.O., Carrickmacross, Co. Monaghan. Tel: 085 164 6179 Email: kinghanchris@yahoo.com

3. Signature of applicant (and any co-applicant where applicable) or agent

Signed  Agent

On behalf of Applicant

### Sources

<http://www.npws.ie/protected-sites/sac>

## Part 2 of Desktop study.

Organic Waste Nutrient Management Plan for the purpose of Planning Applications for Agricultural Development in accordance with Good Agricultural Practice Regulations Statutory Instrument No. 610 of 2010

Roscommon County Council has their own Waste nutrient management plan. Therefore, that document supercedes the need for Part 2 of this desktop study as it deals with the same issues.



# Planning Pack Map

## Nutrient management Plan 1

**Christopher Kinghan & Associates**

CHARTERED SURVEYOR

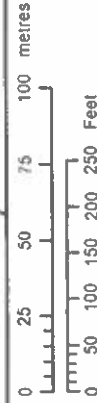
ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720

Tel: 085 164 6179 Email: [kinghanchris@yahoo.com](mailto:kinghanchris@yahoo.com)

Application to Roscommon County Council for Confirmation of Exempted development for Open Fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wally using existing farm entrance to existing farmyard) at Cloontarf, Lethin Village, Co. Roscommon for Flannula McGulhane

**Red Line denotes site boundary**  
**Blue Line denotes farm boundary**  
**/extent of of the lands farmed by the applicant.**  
**Shaded green area = Farm area for spreading manure etc**  
**Brown shaded area excluded area buildings , roads watercourses etc. for spreading manures etc**



OUTPUT SCALE: 1:2,500

**CAPTURE RESOLUTION:**  
The map objects are only accurate to the resolution at which they were captured. Output scale is not indicative of data capture scale. Further information is available at [www.dorsetsearchcapture.com](http://www.dorsetsearchcapture.com)

**LEGEND:**  
To view the legend visit [www.dorsetsearchcapture.com](http://www.dorsetsearchcapture.com) and search for 'Large Scale Legend'



**Tailte Éireann**

**CENTRE COORDINATES:**

ITM 594143.804310

**PUBLISHED:** 10/04/2023

**ORDER NO.:** 50328028\_1

**MAP SERIES:** 1:5,000

**MAP SHEETS:** 1574

**COMPILED AND PUBLISHED BY:**  
National Mapping Division of  
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# Planning Pack Map

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## Nutrient management Plan 1



**CENTRE COORDINATES:**  
ITM 594143 804310

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D08F6E4  
[www.tailte.ie](http://www.tailte.ie)

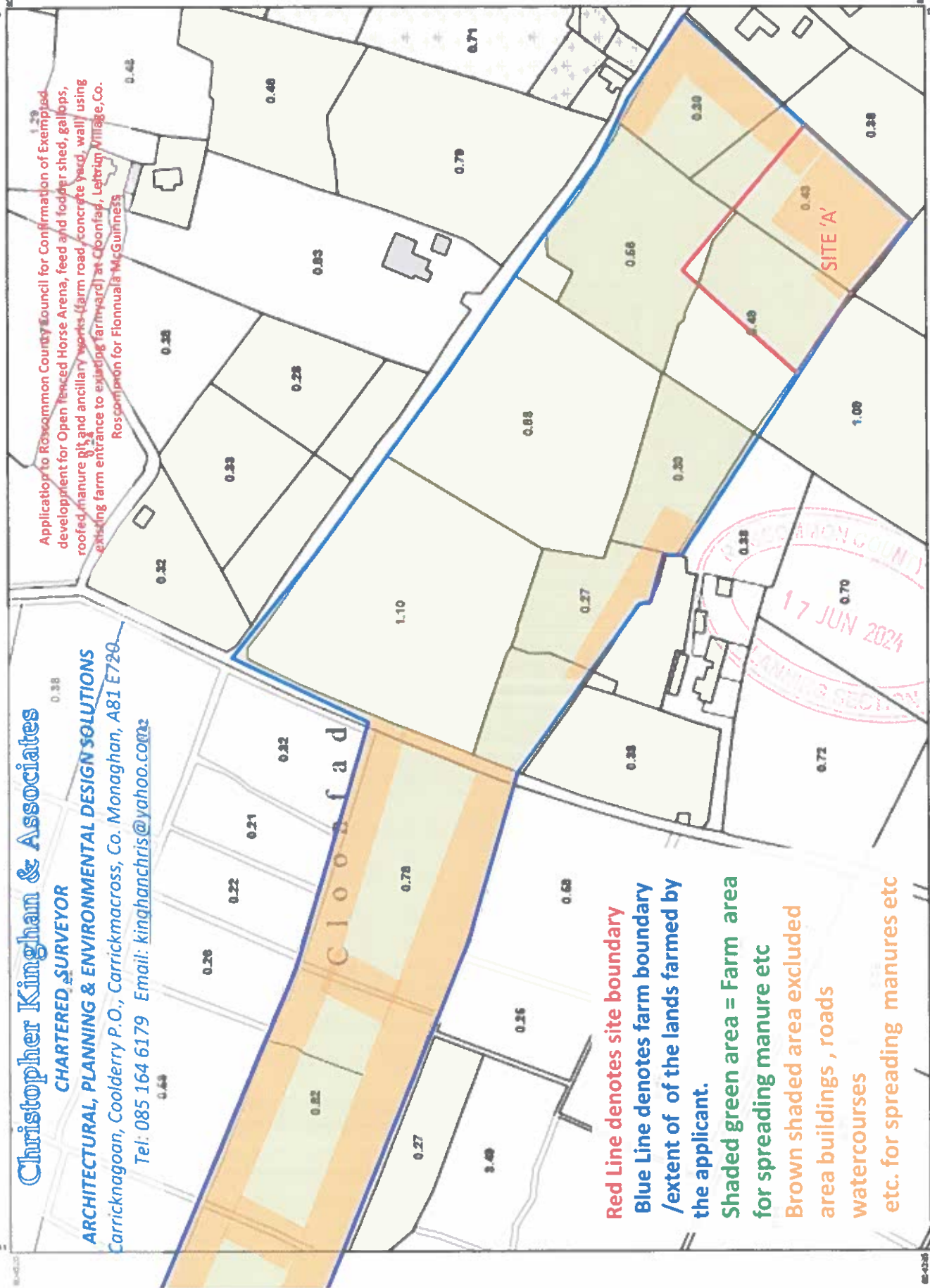
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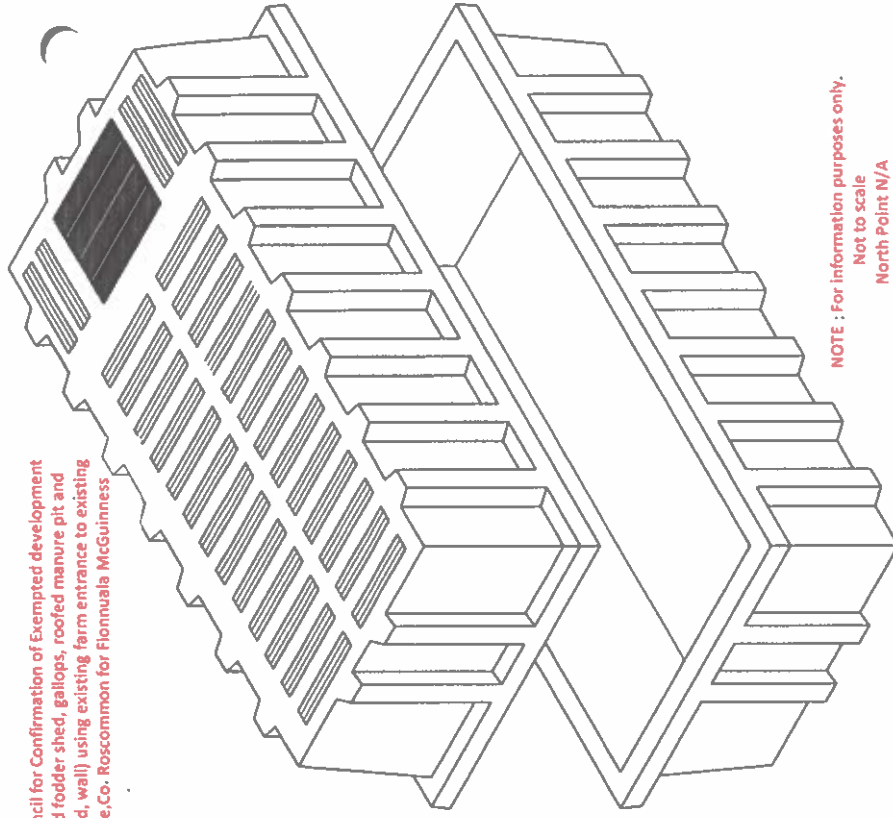
CHARTERED SURVEYOR

ARCHITECTURAL, PLANNING & ENVIRONMENTAL DESIGN SOLUTIONS

Carricknagoan, Coolderry P.O., Carrickmacross, Co. Monaghan, A81 E720

Tel: 085 164 6179 Email: [kinghanchris@yahoo.com](mailto:kinghanchris@yahoo.com)

Application to Roscommon County Council for Confirmation of Exempted development for Open Fenced Horse Arena, feed and fodder shed, gallops, roofed manure pit and ancillary works (farm road, concrete yard, wall) using existing farm entrance to existing farmyard). At Cloonfad, Leitrim Village, Co. Roscommon for Flonnuala McGuinness



NOTE : For information purposes only.  
Not to scale  
North Point N/A  
Tank is an ancillary item

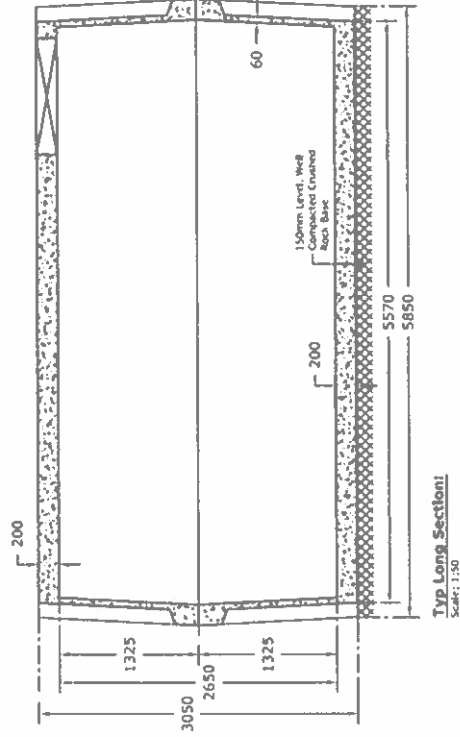
## STANDARD ACCESS OPENING SIZES:

- 1400mm x 850mm
- 900mm x 600mm
- 600mm x 600mm

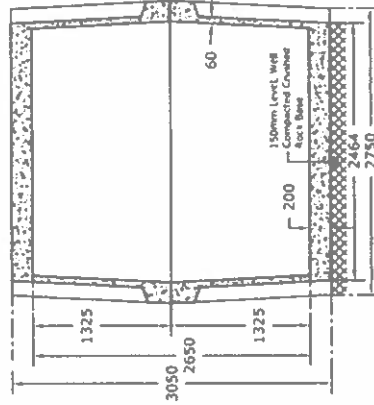
## NON STANDARD SIZES ARE AVAILABLE ON REQUEST

## STANDARD UNIT WEIGHTS:

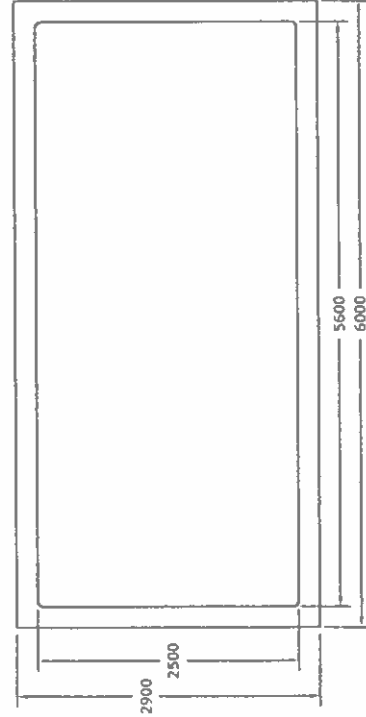
- BASE UNIT: 13.5 tonnes
- ROOF UNIT: 12 tonnes



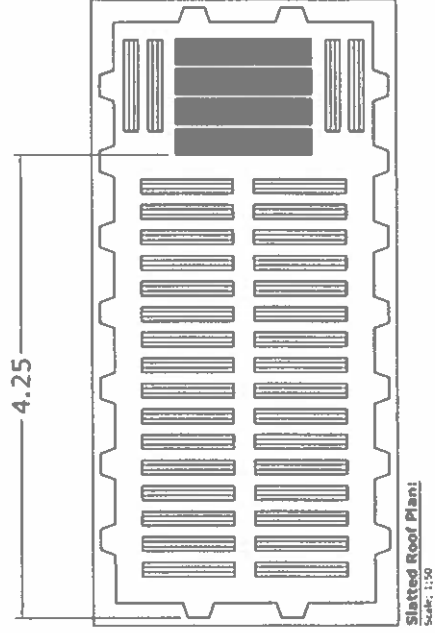
Typ Long Section  
Scale: 1:50



Typ Short Section  
Scale: 1:50



Plan View  
Scale: 1:50



Slatted Roof Plan  
Scale: 1:50



EFFLUENT TANK Not to scale.

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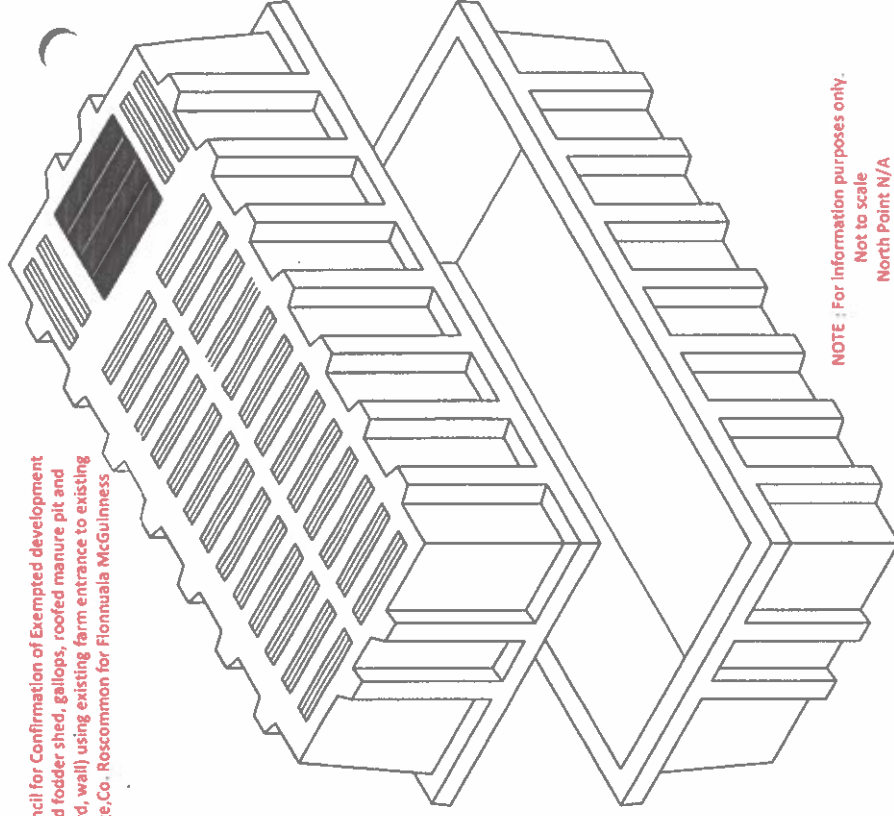
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North Point N/A  
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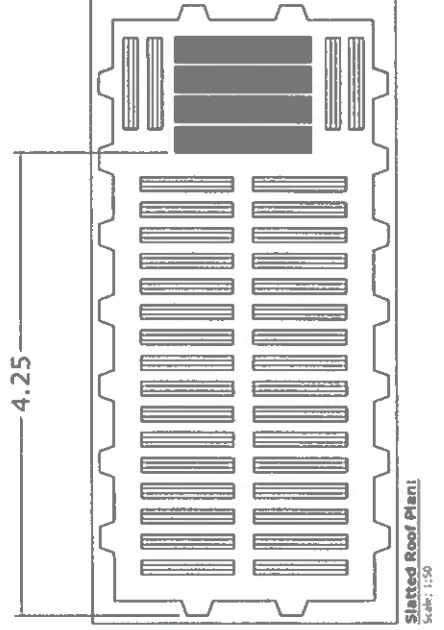
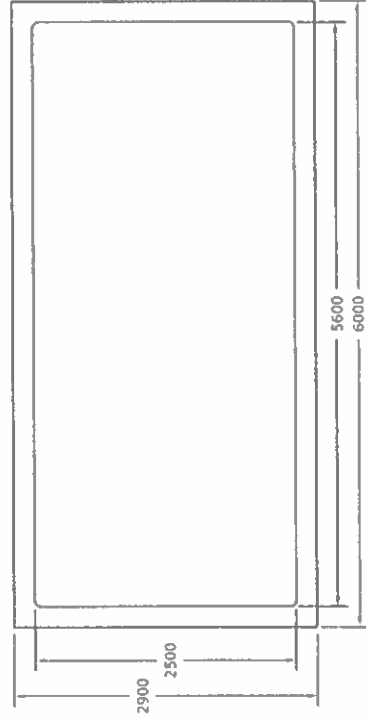
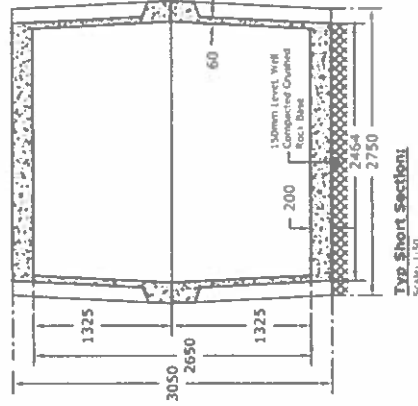
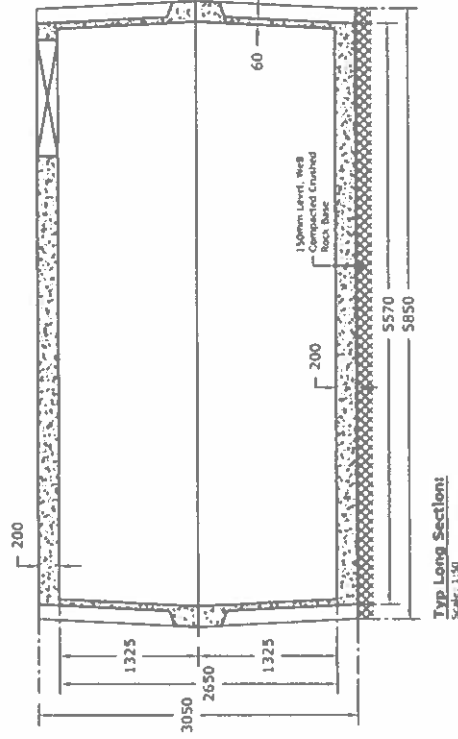
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- 1400mm x 850mm
- 900mm x 600mm
- 600mm x 600mm

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## STANDARD UNIT WEIGHTS:

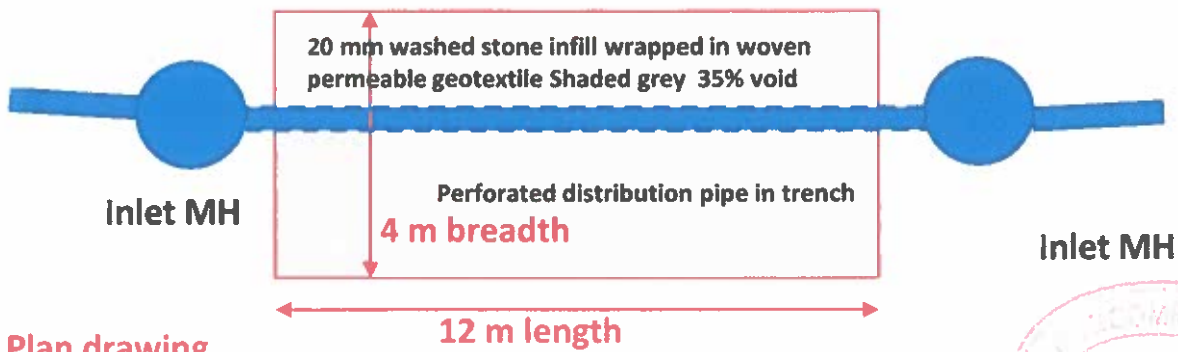
- BASE UNIT: 13.5 tonnes
- ROOF UNIT: 12 tonnes



**EFFLUENT TANK** Not to scale.

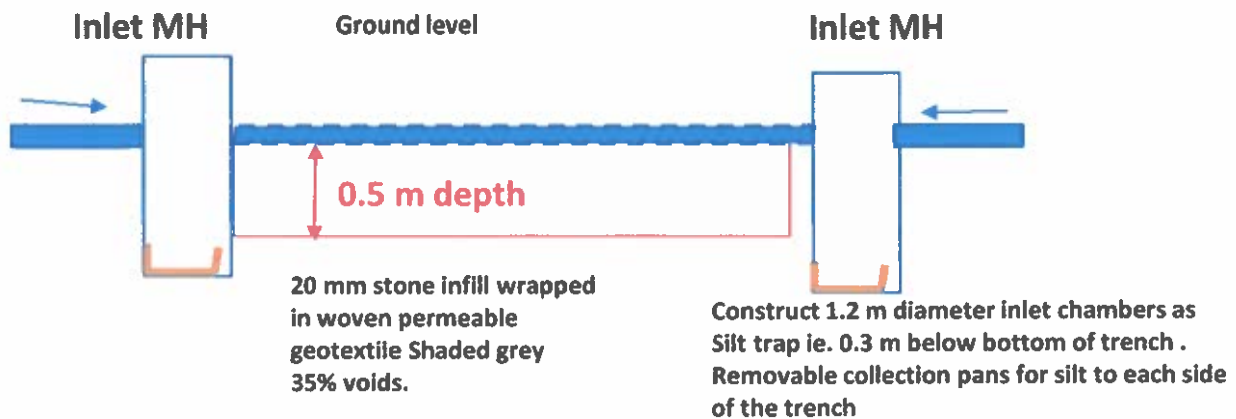
# SUDS Soakaway trench design Schematic only. Not to scale.

Note : Detail drawing shown for 4 m x 12 m x 0.5 m size soakaway.  
Actual soakaway sized to suit area of buildings, roads and concrete  
yard areas and is stated on the Farmyard Plan drawing.



Plan drawing

Actual length breadth depth dimension determined in calculations.



Section drawing

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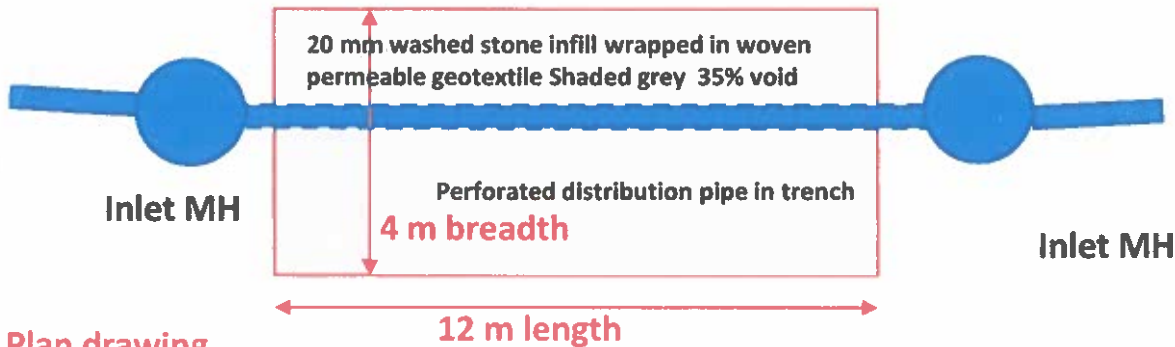
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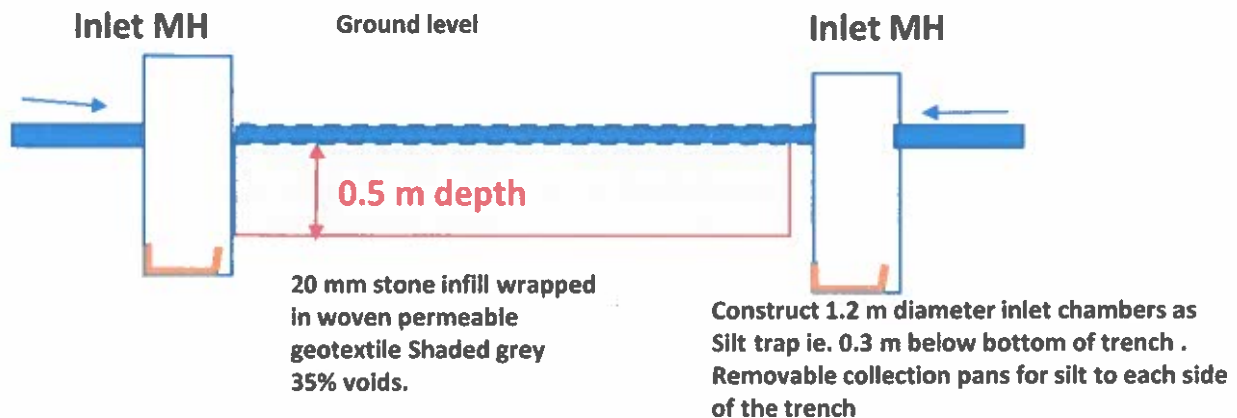
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Plan drawing

Actual length breadth depth dimension determined in calculations.



Section drawing

**Christopher Kingham & Associates**

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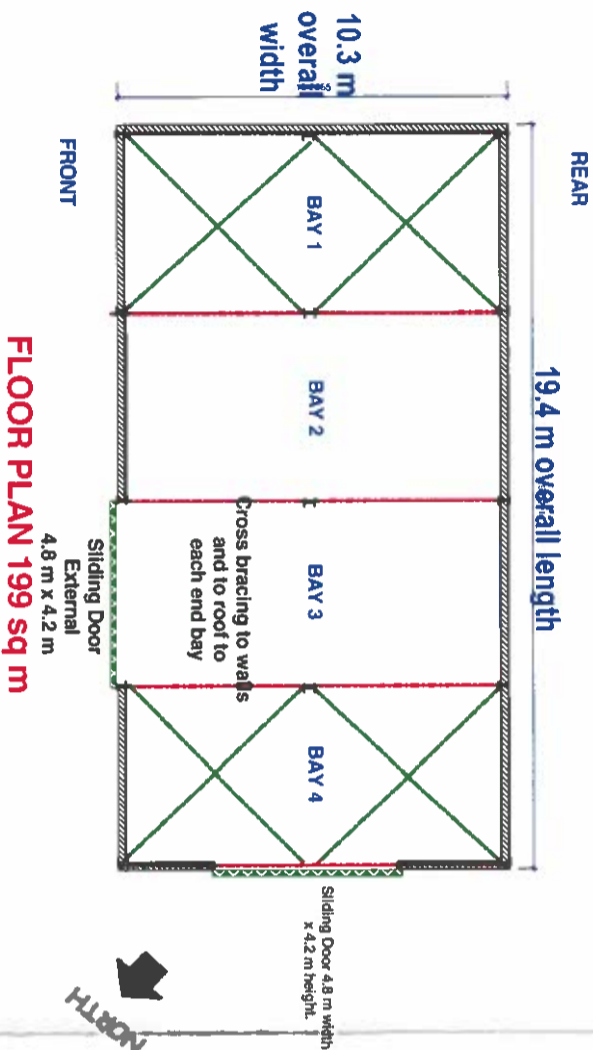
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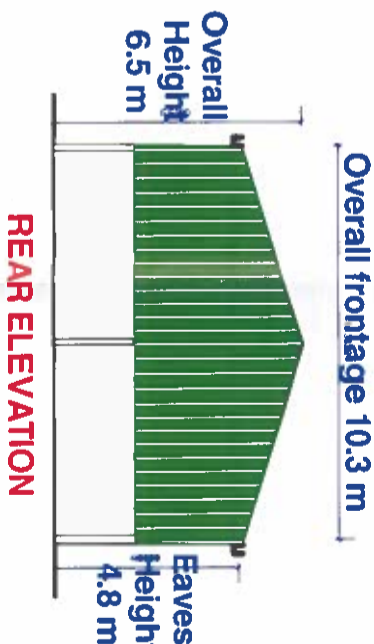
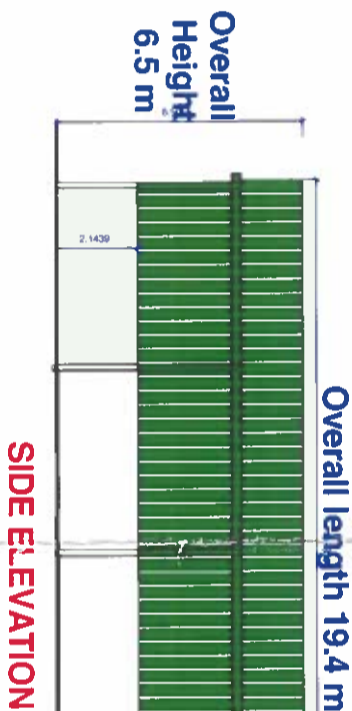
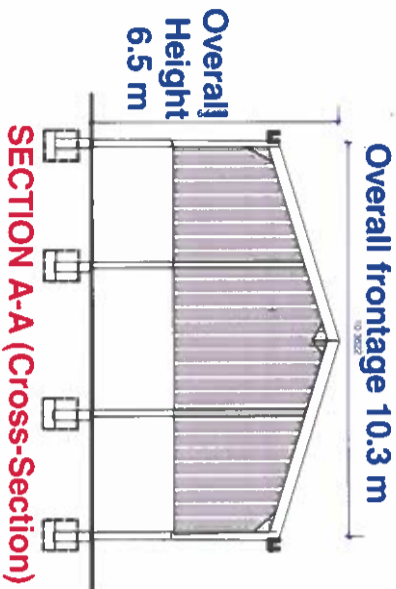
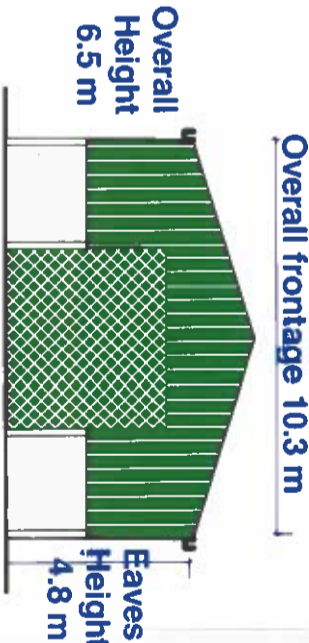
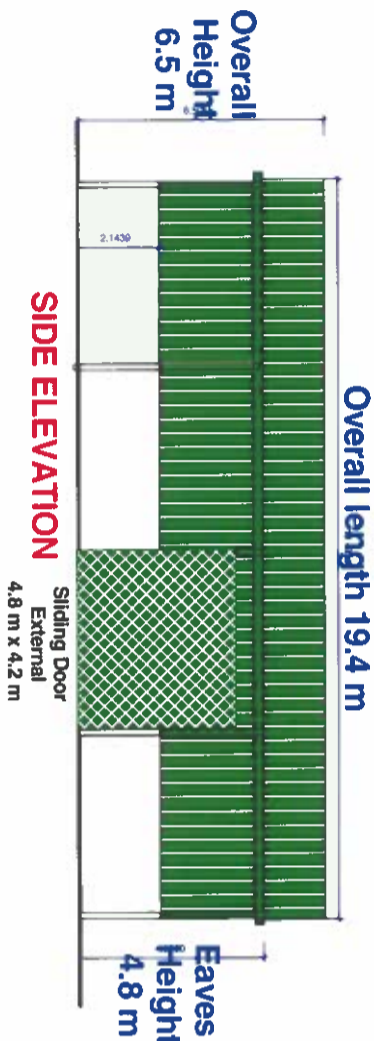
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# ELEVATIONS & PLAN DRAWINGS Scale 1:200



## Shed for feed and fodder

Building can be simple steel frame or Portal frame. No change to external appearance.  
All masonry cement grey in colour  
All cladding -doors and rainwater goods - agricultural grey or green.



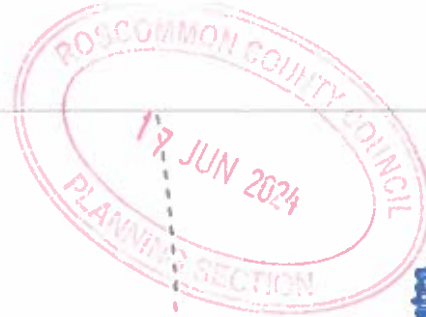
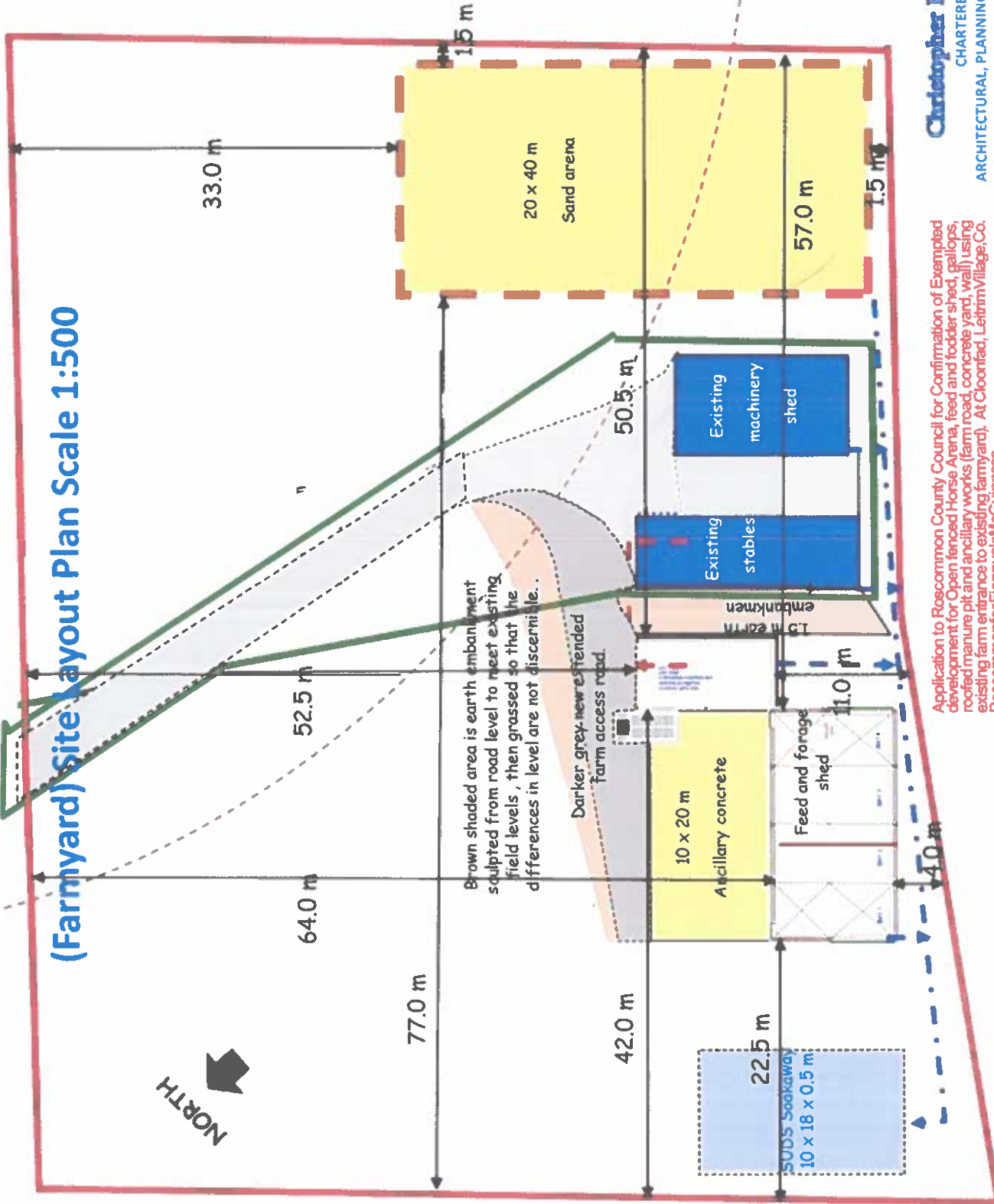
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# (Farmyard) Site Layout Plan Scale 1:500



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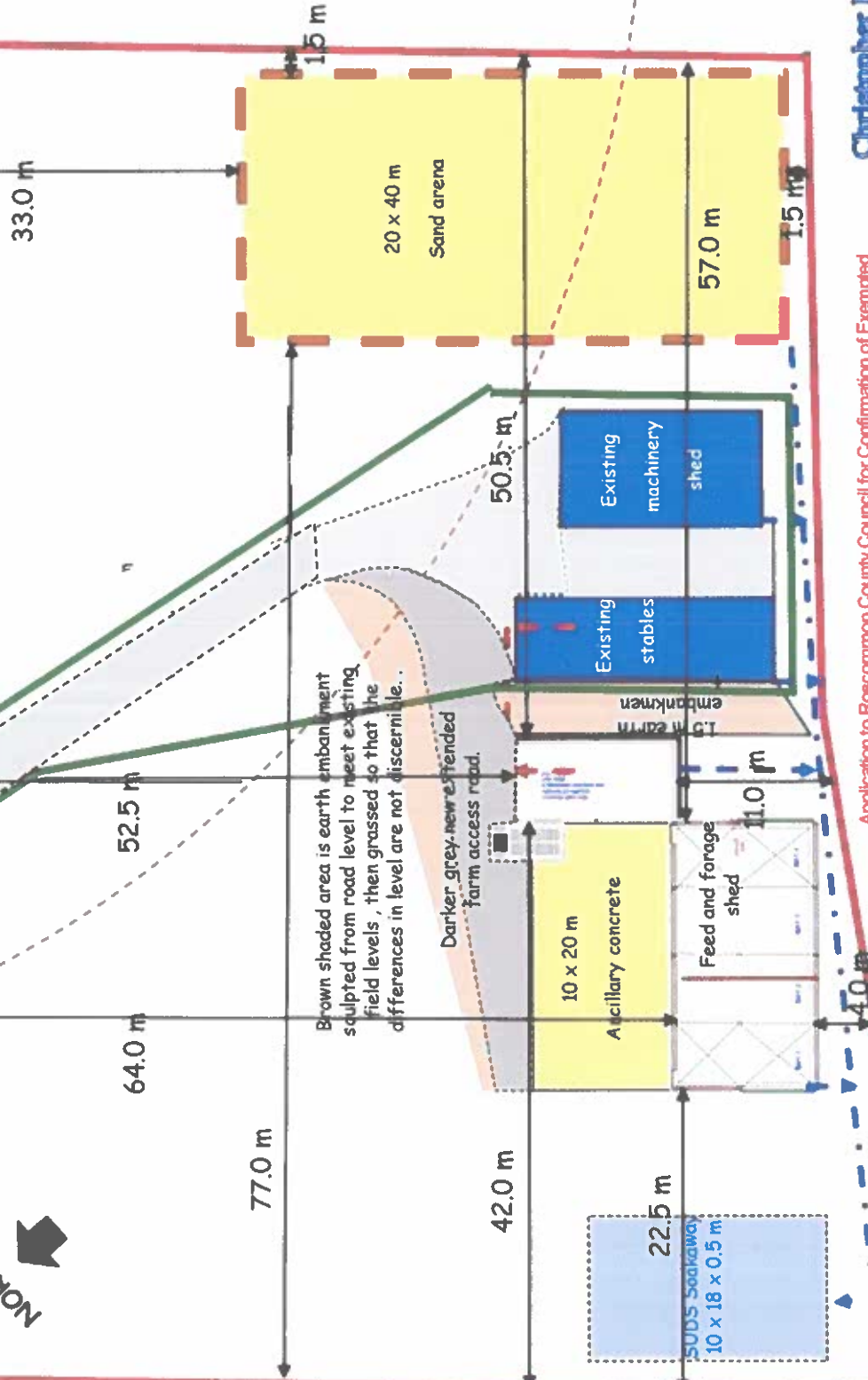
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## SITE LAYOUT PLAN NOTES

Please read in conjunction with desktop study and drawing

- 1) **SETTING OUT** - **Point A \*** is an exact fixed point on the drawing from which all proposed buildings can be set out
- 2) Full surface water and effluent drainage facilities are to be provided throughout the farm yard in accordance with **Department of Agriculture Specification S129 Farmyard drainage, concrete yards and roads.**
- 3) All uncontaminated surface waters from all existing and proposed buildings, roofs and yards shall be separately collected, kept clean and piped directly by an impermeable system to soakaways or to the land drains system as indicated on the Site Layout Plan drawing. Uncontaminated drainage is signified on the drawing by a broken/dotted blue line.
- 4) Contaminated surface water i.e. soiled yard water, and all other effluents including silage effluents **shall not be** allowed to enter drains or waterways. Such effluents shall be directed to slatted tanks or effluent holding tanks. In instances where silage effluent is to be stored, the concrete specification for the holding tank needs to be upgraded accordingly. Contaminated drainage is signified on the drawing by a broken/dotted red line.
- 5) All effluent/slurry holding tanks shall be constructed so that groundwater is prevented from entering said tanks.
- 6) All material waste generated during construction, including any waste waters, shall be recovered and disposed of properly in accordance with the Waste Management Acts 1996-2008. With the exception of excavated material from the site which can be re-used within the applicant's farm boundary.
- 7) All solid manure from existing and proposed buildings is to be stored undercover in a purpose designed covered Manure Pit to be spread on the land in the spreading season.
- 8) Main plan dimensions (for validation purposes) are shown for all new buildings.
- 9) The Site boundary is depicted by a solid red line - it is a notional boundary/ not a legal boundary for planning purposes only.
- 10) The position of the site notice is shown on plan, as the site is a considerable distance from the public road an additional notice is located on the public road accordingly.
- 11) It is not intended to screen existing farmyards with hedging.

# (Farmyard) Site Layout Plan Scale 1:500



Infrastructure in green box is existing.

Red dashed arc is 100 meter distance from nearest dwelling. Only the sand arena and farm access road are within the 100meter arc and the neighbour has signified that this is acceptable

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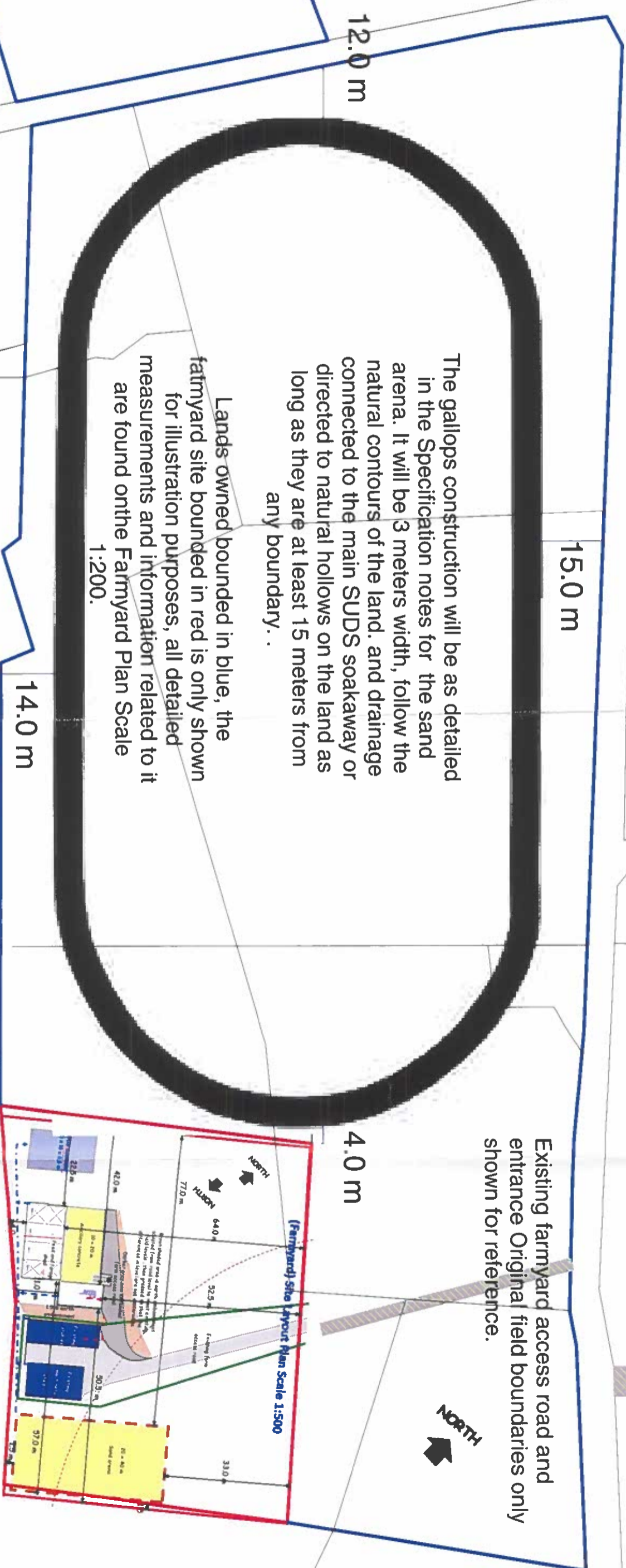
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**GALLOPS PLAN DRAWINGS Scale 1:1,000**



Existing farmyard access road and entrance Original field boundaries only shown for reference.

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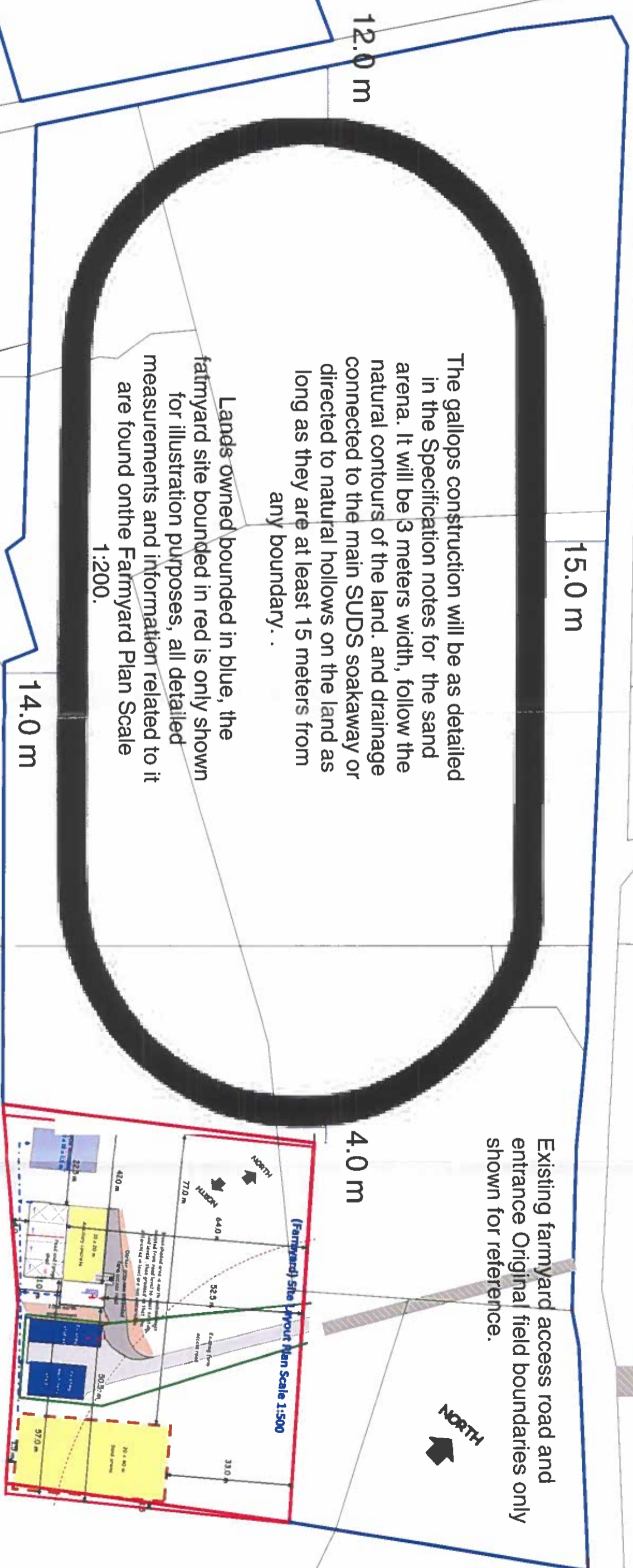
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**GALLOPS PLAN DRAWINGS Scale 1:1,000**



The gallops construction will be as detailed in the Specification notes for the sand arena. It will be 3 meters width, follow the natural contours of the land. and drainage connected to the main SUDS soakaway or directed to natural hollows on the land as long as they are at least 15 meters from any boundary..

Lands owned bounded in blue, the farmyard site bounded in red is only shown for illustration purposes, all detailed measurements and information related to it are found on the Farmyard Plan Scale 1:200.

Existing farmyard access road and entrance Original field boundaries only shown for reference.



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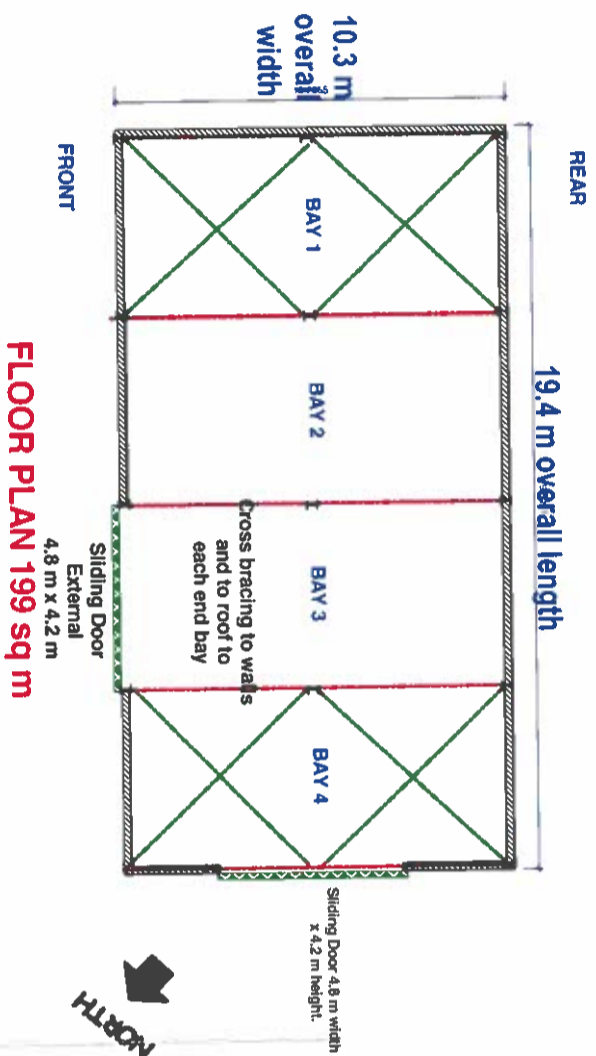
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# ELEVATIONS & PLAN DRAWINGS Scale 1:200

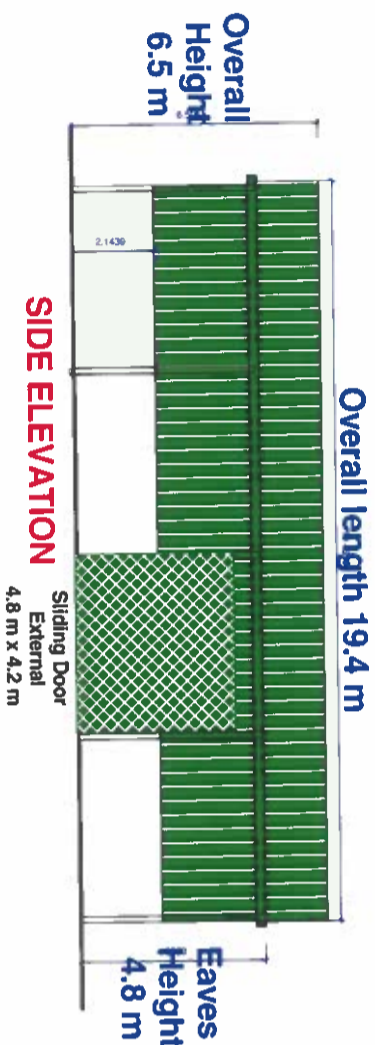


FLOOR PLAN 199 sq m

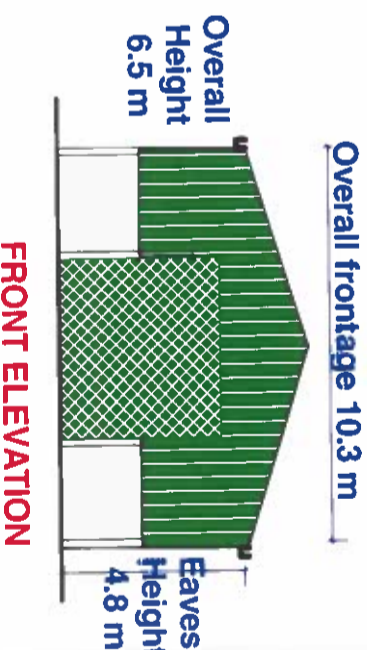


## Shed for feed and fodder

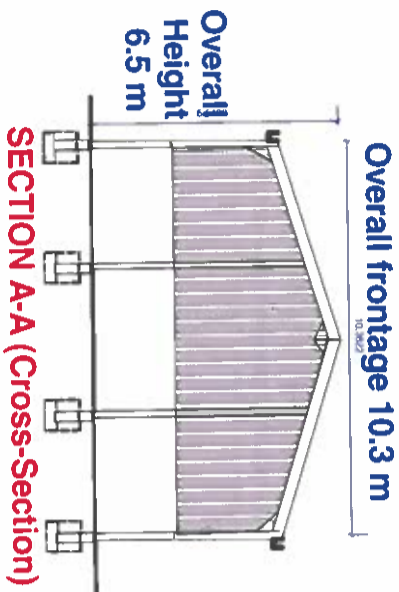
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All masonry cement grey in colour  
All cladding - doors and rainwater goods - agricultural grey or green.



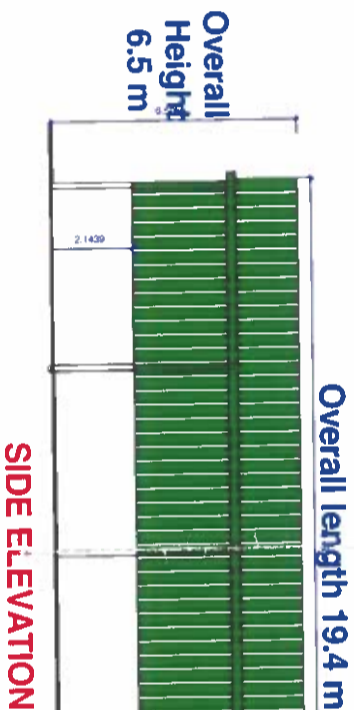
SIDE ELEVATION



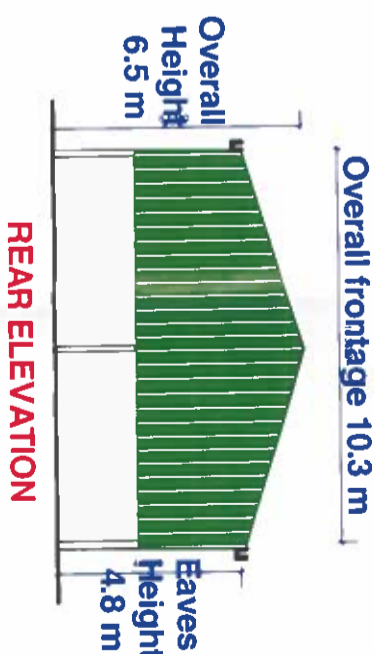
FRONT ELEVATION



SECTION A-A (Cross-Section)



SIDE ELEVATION



REAR ELEVATION

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Tel: 085 164 6179  
Email: kinghanchris@yahoo.com



# ELEVATIONS & PLAN DRAWINGS

## Scale 1:200 SAND ARENA

ALL DRAWINGS MUST BE READ IN  
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existing farm entrance to existing farmyard) at  
Cloonfad, Leitrim Village, Co. Roscommon for  
Fionnuala McGuinness

### Side Elevation

Overall length 40.0 m

Overall  
width  
20.0 m

**NORTH**

FFL +0.0 m

### Floor Plan 800 sq m

Overall width 20.0 m

Overall  
height  
2.05 m

### Front Elevation

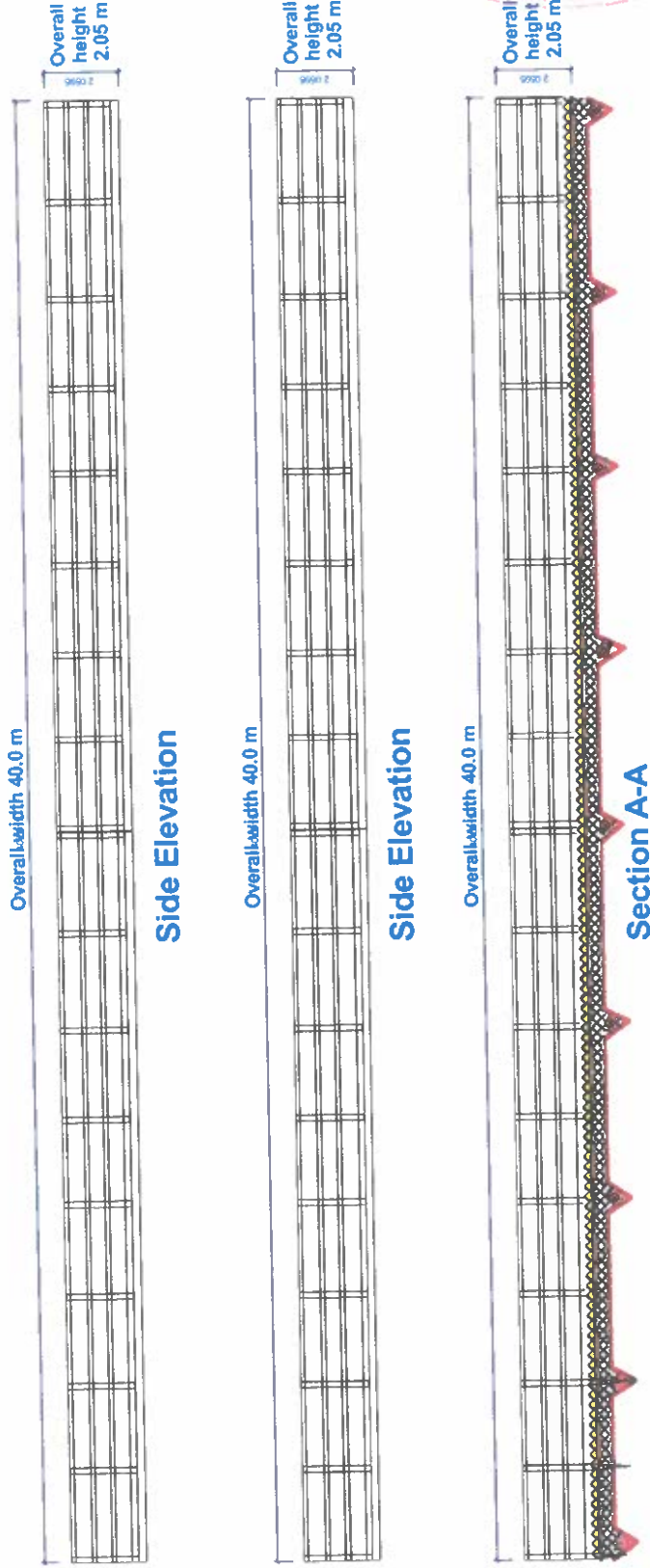
Overall width 20.0 m

Overall  
height  
2.05 m

### Rear Elevation



# ELEVATIONS & SECTION AA DRAWINGS Scale 1:200 SAND ARENA



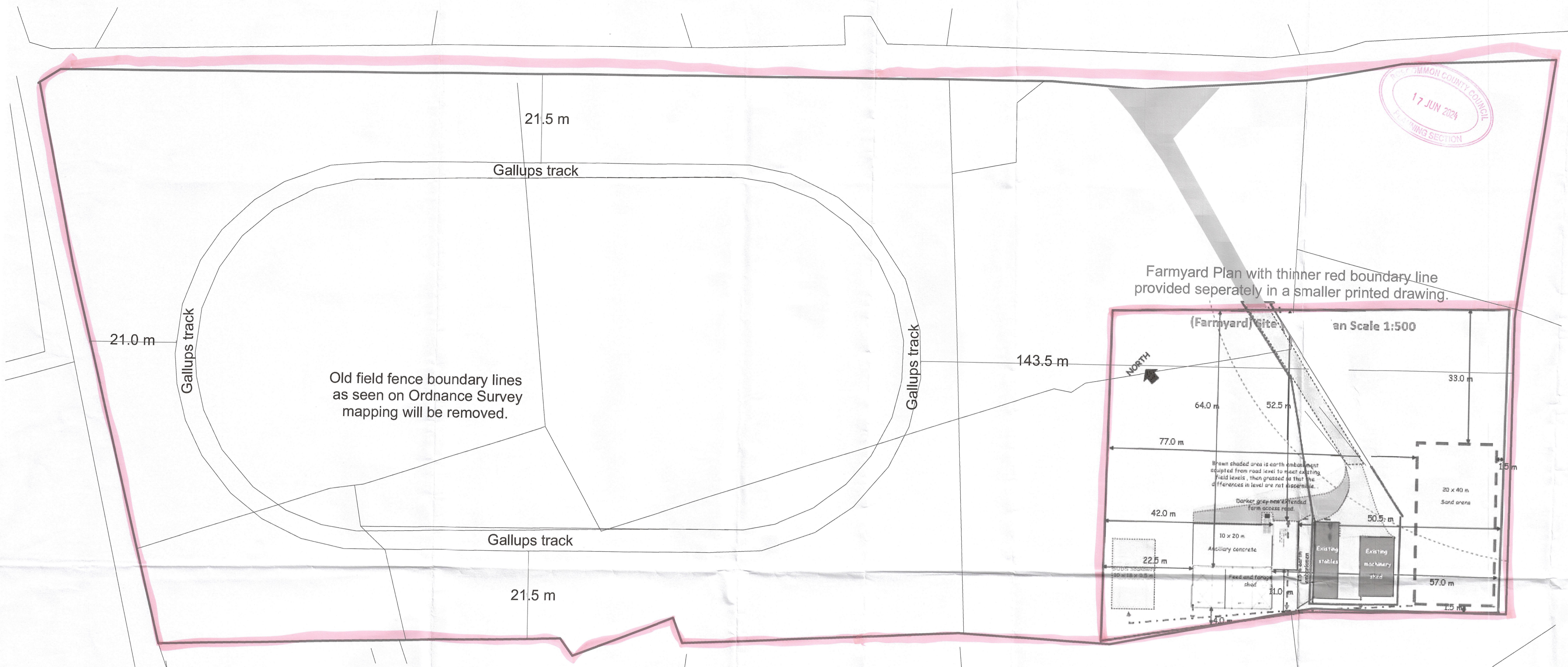
Drainage and construction as detailed drawing and notes attached to these drawings. The notes are based on Department of Agriculture specification S.156 and followed in their entirety.

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# (FARM) SITE LAYOUT PLAN SCALE 1:500

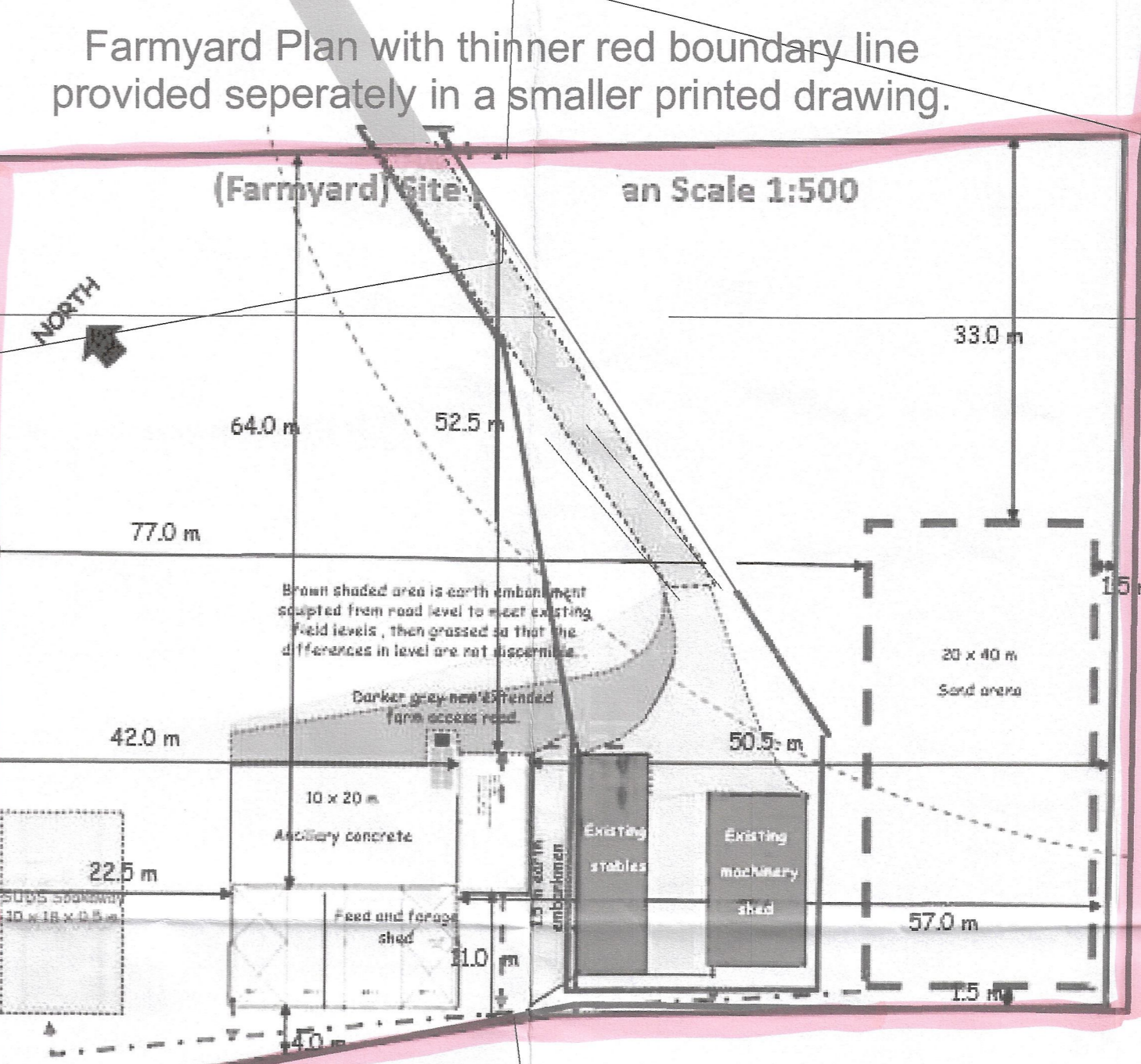
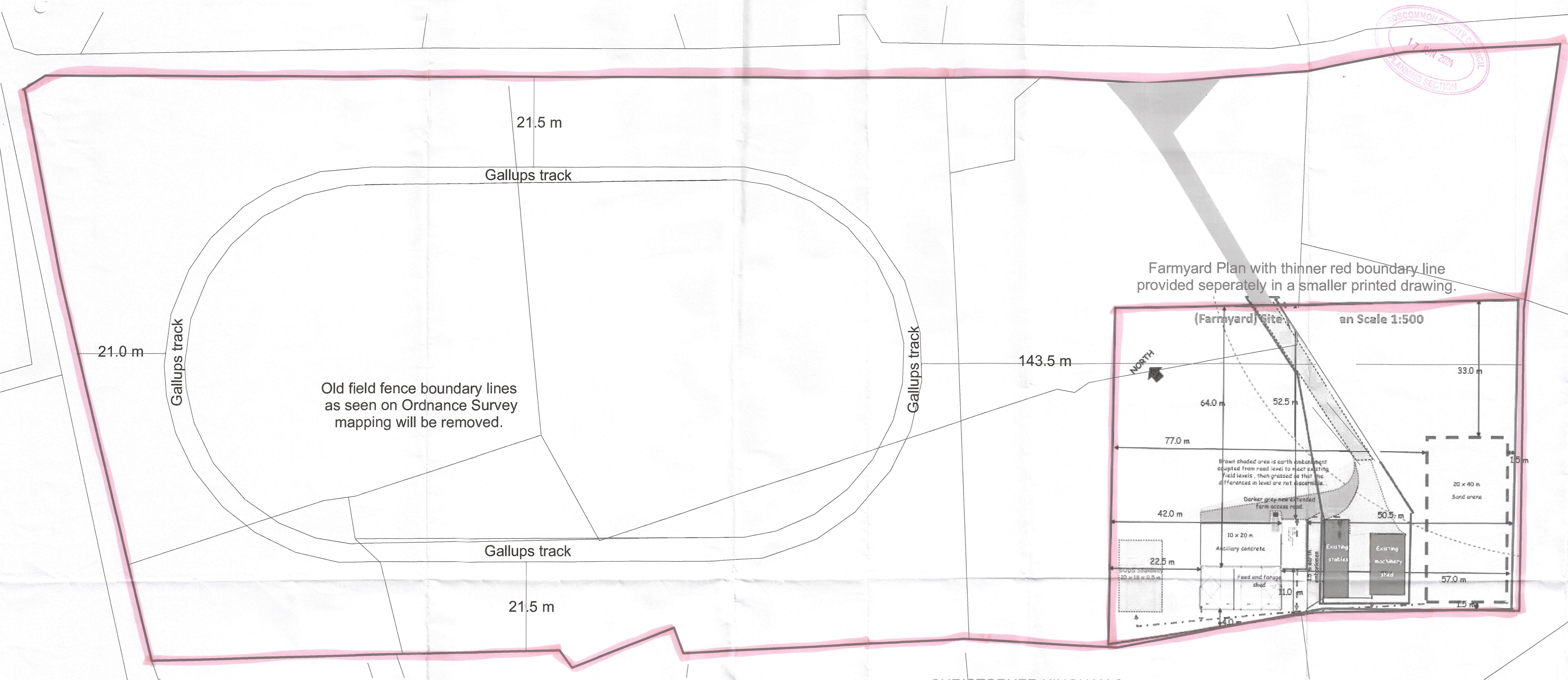
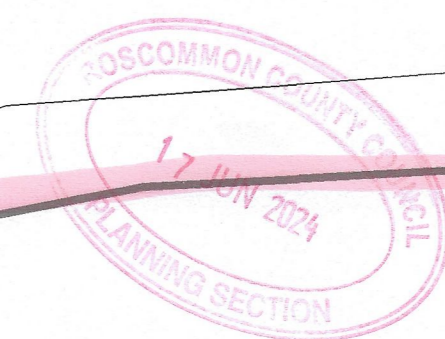


Farmyard Plan with thinner red boundary line provided separately in a smaller printed drawing.

CHRISTOPHER KINGHAN &  
ASSOCIATES  
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Application to Roscommon County Council for  
Confirmation of Exempted development for  
Open fenced Horse Arena, feed and fodder  
shed, gallops, roofed manure pit and ancillary  
works (farm road, concrete yard, wall) using  
existing farm entrance to existing farmyard). At  
Cloonfad, Leitrim Village, Co. Roscommon for  
Fionnuala McGuinness

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