

ROSCOMMON COUNTY COUNCIL

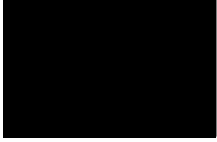
PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Aoife Lilly,



Reference Number: DED 683
Application Received: 26th March 2024
Name of Applicants: Aoife Lilly
Agent: BK Engineering Design Ltd

WHEREAS a question has arisen as to whether the construction of an extension to the rear of an existing dwelling at Tully, Loughglynn, Co. Roscommon, F45 TP28, is or is not development and is or is not exempted development:

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended.
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended.
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The works outlined above are development.
- (b) The works fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended.
- (c) The proposed works, comprising of the "*extension of a house, by the construction or erection of an extension (...) to the rear of the house*" fall under Schedule 2 of Part 1; Class 1 development and is considered to constitute 'exempted development'.
- (d) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2019 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said development **to construct an extension to the rear of an existing dwelling at Tully, Loughglynn, Co. Roscommon, F45 TP28, is development that is exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Signed on behalf of the Council:

Alan O'Connell,
Senior Executive Planner,
Planning.

Date: 22nd July 2024

ADVICE NOTE

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

Carmel Curley

From: Carmel Curley
Sent: Tuesday 23 July 2024 14:44
To: [REDACTED] Brendan Kelly
Subject: DED683 - Notification of Decision
Attachments: DED683 - Notification of Decision.pdf

A Chara,

Please find attached Notification of Decision for DED Application 683. A hard copy will issue today.

Regards,

Carmel

Carmel Curley, Assistant Staff Officer,
Planning Department, Roscommon County Council,
Aras an Chontae, Roscommon, Co. Roscommon, F42 VR98

☎: (090) 6637100

✉: planning@roscommoncoco.ie | 🌐 www.roscommoncoco.ie

MAP LOCATION



**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

Reference Number:	DED 683
Re:	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development.
Name of Applicant:	Aoife Lilly
Location of Development:	Tully, Loughlynn, Co. Roscommon. F45 TP28
Site Visit:	08/07/2024

WHEREAS a question has arisen as to whether the following works; “proposed rear extension” under the Planning & Development Act (Exempted Development) Regulations 2018 at the above address is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

Site Location & Description of Development & Nature of Proposed Development
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Site Location:

The subject site is situated in a rural area to the north-east extent of the county, in the townland of Tully and is located off a local road [L-5698] which runs perpendicular to the L-56982.

Development Description:

A site visit was conducted on the 8th of July, 2024; as per the Site Layout Plan, the dwelling can be accessed via one of two vehicular access/egress points, or by way of a stepped pedestrian entry, which is centered to the east extent of the site.

The site boundaries at the north of the site are ad-hoc, crossing the existing farmyard and encompassing an existing entrance, a shed and the existing septic tank. The western and southern end of the site are bounded by post & wire fencing, whilst the east extent is bounded by a pebble-dash masonry block wall with three distinct access/egress points.

As regard to the site topography, the southern extent of the site is notably lower than the plateau upon which the existing derelict dwelling sits, rising and falling as per the levels indicated on the ‘Site Layout Plan’.

The dwelling is a vernacular-style, single-storey, detached-dwelling, with a hipped slated roof, penetrated by two separate chimneys. A mono-pitch extension was added to the rear of the dwelling, which flanks the rear of the property, from the western elevation to the eastern elevation; as per the existing site plans, this extension accommodates the kitchen and sanitary facilities and is under 40sq.m

Nature of Proposed Works:

The application states the nature of the proposed development/works comprises a “*proposed rear extension [39.98m²]*”. The submission includes a “particular specification” document for the proposed extension to the

dwelling-house, which provides a detailed outline of the works, from “site-works, drainage and foundation” specifications to “ceilings, floors and finishes” details.

Geographic Information Systems [GIS]

European Sites:

As per a review of Roscommon County Council’s Geographic Information Systems, the subject site is located in proximity to a European Site.

- Appropriate Assessment

The closest designated sites include; “Errit Lough” *Special Area of Conservation* (SAC) (Site Code: 000607) which is located circa 0.3km north-east of the subject site.

Having regard to the separation distances between the site and the closest Natura 2000 site, given the nature of the proposal, there is no real likelihood of significant effects on the conservation objectives of these or other European sites arising from the proposed development. The need for further Appropriate Assessment, therefore, can be excluded.

Architectural / Archaeological Heritage

As per a review of Roscommon County Council’s Geographic Information Systems, there are no architectural and/or archaeological heritage sites/structures in proximity to the subject site or property thereon.

- Assessment of Architectural & Archaeological Heritage

The property is not a protected structure; further, the closest structure listed by the National Monuments Service includes a ‘Souterrain’ (SMR Number RO019-008---) located 0.25km east of the site.

Planning History

As per Roscommon County Council’s Planning Registry, a planning history assessment of the subject site and property thereon includes the following:

- PD/04/1764 [Permission, Conditional]
- PD/17/87 [Permission, Refused]
- PD/17/187 [Permission, Conditional]
- PD/24/60170 [*Decision Pending; Planning Permission to relocate and upgrade existing effluent treatment, together with all ancillary site works and services*].

Relevant statutory provisions

Planning and Development Acts 2000 (as amended)

Section 2 (1)

In this Act, “works” include any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 (1)

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4 (1)

Defines certain types of development as being ‘exempted development’. Of potential relevance is section 4(1)(h) which provides as follows:

“development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4 (2)

Outlines that the Minister may, by regulations, provide for any class of development to be exempted development for the purpose of this Act. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 as amended

Article 6 (1)

Subject to article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Article 9 (1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act –

- (a) If the carrying out of such work would—
 - (i) Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.
 - (viiB) Comprise development in relation to which a planning authority or an Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site.

Planning Assessment

Hereunder, details the statutory provisions pertinent to this section 5 referral have been set out, they are as follows;

In accordance with the Planning and Development Act, 2000, section 2(1) “works” include “any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure (...). It is considered that said proposed works constitute “works”, as defined in section 2 of the said Act.

In accordance with the Planning and Development Act, 2000, section 3(1) “development” means, “except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land”. It is considered that said works constitute development, as defined in section 3 of the said Act.

These works have been considered in the context of Section 4(1)(h) of the Act, consisting of the carrying out of works for the *“maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”*.

- On review of the submission particulars, under the provision of Section 4(1)(h), it is considered that the proposed works, comprising of an extension to the rear of the property (*which will necessitate the demolition of an in-situ extension*) would not adversely impact the architectural character of the building, or neighbouring structures, and as such, are considered to fall under the provision of section 4(1)(h).

The proposed works, falling under Class 1, of Part 1 of Schedule 2, of Article 6, subject to Article 9, comprise the “*extension of a house, by the construction or erection of an extension (...) to the rear of the house*” and accordingly is considered in principle to constitute ‘exempted development’, subject to compliance with the relevant conditions and limitations specified for this Class of development in column 2 of the said Part 1 [1-7]. Further, on review of the plans and particulars submitted as part of this section 5 referral and having regard to the provisions of Article 9(1)(a)(viii), the existing structures on site and the proposed development works, are not considered to consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.

With Regard to Article 9(1)(a) of the Planning and Development Regulations, it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Article 9(1)(a)(viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

Recommendation

WHEREAS a question has arisen as to whether a proposed development; comprising the “proposed rear extension” under the Planning & Development Act (Exempted Development) Regulations 2018, at the site located in “Tully, Loughlynn, Co. Roscommon, F45 TP28” is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000 as amended.
- (d) The planning history of the site

AND WHEREAS I have concluded that

- The works outlined above are development.
- The works fall within the provisions of Section 4(1)(h) of the Planning & Development Act 2000 as amended.
- The proposed works, comprising of the “*extension of a house, by the construction or erection of an extension (...) to the rear of the house*” fall under Schedule 2 of Part 1; Class 1 development and is considered to constitute ‘exempted development’.
- The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

AND WHEREAS I have concluded that the said development comprising “proposed rear extension” at the site located in “Tully, Loughlynn, Co. Roscommon”, under the Planning & Development Act (Exempted Development) Regulations 2018, constitutes exempted development and that a declaration to that effect should be issued to the applicant.

Signed:



Blaithín Kinsella

Assistant Planner

Date: 11th June 2024

Signed:



Alan O'Connell

Senior Executive Planner

Date: 11th June 2024

19th July

Appendix – Site Photos



On approach to dwelling: Vehicular entrance



On approach to dwelling: Pedestrian entrance



Front of dwelling



Side of dwelling



Side & rear of dwelling



Rear of dwelling & rear driveway

ENDS.



Comhairle Contae
Ros Comáin
Roscommon
County Council



Aoife Lilly,



Date: 26th March 2024
Planning Reference: DED 683

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.
Development: Permission to construct an extension to the rear of a dwelling house under the Planning & Development Act (Exempt Development) Regulations 2018 at Tully, Loughglynn, Co. Roscommon., F45 TP28.

A Chara,

I wish to acknowledge receipt of your application received on the 26th March 2024, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00, Receipt No. **L01/0/227785** dated 26th March 2024, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 683**
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Alan O'Connell
Senior Executive Planner,
Planning Department.

cc: BK Engineering Design Ltd,
Abbey Street,
Ballyhaunis,
Co. Mayo.

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

26/03/2024 12:02:58

Receipt No : L0140/227785

AOIFE LILLY



PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED 003	

Total :	80.00 EUR
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Tendered :	
Cheque	80.00
501040	

Change :	0.00
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Issued By : Bernadine Duignan
From : Central Cash Office



Comhairle Contae
Ros Comáin
Roscommon
County Council

Áras an Chontae,
Roscommon,
Co. Roscommon.

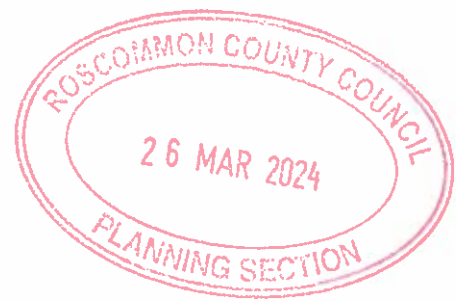
Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000, regarding Exempted Development

Name:	Aoife Lilly
Address:	[REDACTED]
Name & Address of Agent:	BK Engineering Design Ltd, Abbey street, Ballyhaunis, Co. Mayo
Nature of Proposed Works	proposed rear extension 39.98 m ²
Location (Townland & O.S No.)	Tully OS No 2092
Floor Area	existing 71.08m ² proposed 39.98m ²
Height above ground level	100 mm
Total area of private open space remaining after completion of this development	over 720m ²
Roofing Material (Slates, Tiles, other) (Specify)	Blue Black Slates.
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	plaster finish to match existing
Is proposed works located at front/rear/side of existing house.	Rear



Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,
regarding Exempted Development

Has an application been made previously for this site	NO
If yes give ref. number (include full details of existing extension, if any)	N/A
Existing use of land or structure	House with garden
Proposed use of land or structure	House with garden
Distance of proposed building line from edge of roadway	5.9 meters
Does the proposed development involve the provision of a piped water supply	NO (Existing)
Does the proposed development involve the provision of sanitary facilities	NO (Existing)

Signature: Bh

Date: 21/3/24

Note: This application must be accompanied by:-

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



 **Protect Our Water**
Domestic Wastewater Treatment Systems Registration

 **Comhshool, Pobal agus Rialtas Ábhaill**
Environment, Community and Local Government

Receipt Issued by Protect Our Water, PO Box 12204, Dublin 7.



Date Paid: 14/09/2012

Payment Code: 

Total Amount: €5.00

Account Reference Code: 

Your Certificate(s) of Registration will be posted to you shortly. You must renew your domestic wastewater treatment system registration(s) every 5 years.

Payment: * Receipt is issued subject to payment clearance.

Property ID	Address	Payment Type	Amount
	Tully, Carrowbehy, Castlereagh, Co. Roscommon	Fee	€5.00
Grand Total:			€5.00



Protect Our Water

Domestic Wastewater Treatment Systems Registration



Comhaltas, Pobal agus Rannas Árd
Inbheannaí, Seirbhíse agus Taisc

[Account](#)[FAQs](#)[Contact Us](#)[Logout](#)

Enter Your Details

Please complete each of the following steps.

[What owner category](#)[Email and Password](#)[Enter account details](#)[Correspondence address](#)[Confirm your details](#)[Confirmation](#)

Confirmation of account registration:

Your account has been created.

Note: You will need these details to access your account again. Please keep them safe.

First Name:

Last Name:

Account Reference Code:

You have successfully completed account registration.

Your Account Reference Code will now be sent to your email address.

[Print](#)[Next >](#)

Protect Our Water - Domestic Wastewater Treatment Systems Registration

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**CONFIDENTIAL
INFORMATION
REMOVED**

EXTENSION TO DWELLING HOUSE.



AT: Tully, Loughlynn, Co.Roscommon. F45 TP28

FOR: Aoife Lilly

The conditions of contract shall be the standard R.I.A.I. 1977.

Conditions to contract without quantities.

NOTE: All workmanship shall be carried out in accordance with good building practice and in accordance with the relevant clauses of the standard Department of Environment specification for dwelling houses.

PARTICULAR SPECIFICATION:

(1) SITEWORKS:

The contractor shall be responsible for provision of site access for his own work during the construction of the actual building. All other roads - landscaping and fencing shall be carried out by the client directly.

(2) DRAINAGE:

All drainage pipes shall be wavin P.V.C. pipes or similar. All surface water drainage's shall discharge to soakpit on site. Existing open drains on site shall be excavated to a depth of not less than 3'.

(3) FOUNDATIONS:

30 Newton shall be used with 4 No. 12mm M.S. bars in each footing. The contractor shall be paid extra for all excavation below 1 metre, if so required on the instruction of BK Engineering Design. 30 Newton concrete shall be used in the retaining walls (reinforcement to BK Engineering Design Specifications).

(4) RISING WALLS:

Rising walls shall have a minimum height of 450mm, cavity shall commence 225mm below D.P.C. level.



(5) WALLS

(a) EXTERNAL WALLS:

Walls shall be 300mm cavity walls constructed as follows:

100mm concrete block/brick outerleaf.

40mm cavity.

Xtratherm Thin-R Polyiso XT/CW 60mm anchored in place by s.s. twist type cavity wall ties @ 900mm crs. horizontally,

450mm crs. vertically. (Doubled up at openings)

100mm concrete block inner leaf.

Concrete blocks shall be by approved Manufacturers.

37.5mm oa XT/TL insulated liner to inner face of inner leaf

Reinforced concrete beams where shown.

OR

Walls shall be 320mm cavity walls constructed as follows:

100mm concrete block/brick outerleaf.

40mm cavity.

Xtratherm Poyiso plus XT/CWT 80mm insulation anchored in place by s.s. twist type cavity wall ties @ 900mm crs. horizontally,

450mm crs. vertically. (Doubled up at openings)

100mm concrete block inner leaf.

Concrete blocks shall be by approved Manufacturers.

Reinforced concrete beams where shown.

(b) INTERNAL WALLS:

Internal walls shall be 100mm and 225mm concrete block as on drawing. Partitions shall be 100mm concrete block except where shown on drawing. Party walls to be taken up to roof level.

(c) LINTOLS:

Precast spanlite lintol may be used where spans allow.

(d) CILLS:

Precast spanlite cill may be used.

(6) ROOF:

The roof shall be constructed as follows:

Slates/tiles as per drawing on

50mm x 38 S.W. battens (treated) on Tyvec Supro breather membrane on

175 x 44 rafters @ 400 crs.

250 x 37 ridge board.

150 x 50 collars @ 1200crs

175 x 75 purlin

100 x 75 struts @ 1200crs

100 x 75 bearers

225 x 44 ceiling joists @ 400 crs. With 100mm Xtratherm mineral fibre insulation between joists and 200mm over. Alternatively 200mm Xtratherm mineral fibre between joists with 62.5mm Xtratherm liner under joist.

100 x 75 wall plate anchored by M24 bolts ' 1.2m. crs.

ALL TIMBER TO COMPLY WITH I.S 444

ALL INSULATION THROUGHOUT TO COMPLY WITH TGD PART L 2022 REGULATIONS AS SPECIFIED IN A PROVISIONAL BER PRIOR TO CONSTRUCTION.

7) FLOORS:

All floors shall be concrete. All steps at door shall be trimmed with brass angle.

The concrete floor shall comprise of

100mm concrete slab with powerfloat finish on
Xtratherm Warm-R EPS 135mm insulation or alternatively Thin-R Hyfloor T&G XT/HYF
100mm insulation. **NOTE** if underfloor heating is being used Xtratherm Thin-R Polyiso*
XT/U 125mm insulation. * (engineered jointing available)
150mm reinforced concrete raft reinforced with A142 mesh.
Monarflex RMB 400 radon barrier/dpm by Necoflex or eq app on 50mm blinding on
225mm well-compacted hardcore. 600X600x200mm deep radon chamber to be provided
in hardcore zone with 50mm concrete paving slab over, with 110mm uPVC vent pipe
connected to Easi-Sump cap-link.

(8) CEILINGS:

The ceiling shall be as shown on drawings and applied in accordance with gypsum instructions to meet the required fire resistance.

(9) FINISHES:

(a) EXTERNAL WALLS:

Fine nap plaster finish as shown on elevations.

- (a) One scud coat.
- (b) One scratch coat.
- (c) One fine white nap finish.

Three coats of external grade emulsion paint.

Sheeting and glazing as per elevations

(b) INTERNAL WALLS:

Gypsum pinnacle wall finish.

- (a) One scud coat.
- (b) One scratch coat.
- (c) Gypsum pinnacle wash finish.

Two coats of white finish.

(10) WINDOWS & DOORS:

All windows and external doors shall be P.V.C. Or wood double/triple glazed TO MEET THE REQUIRED U VALUE as set out in provisional BER. openings as shown on elevations. All windows and doors to be approved by to BK Engineering Design Specifications prior to construction.

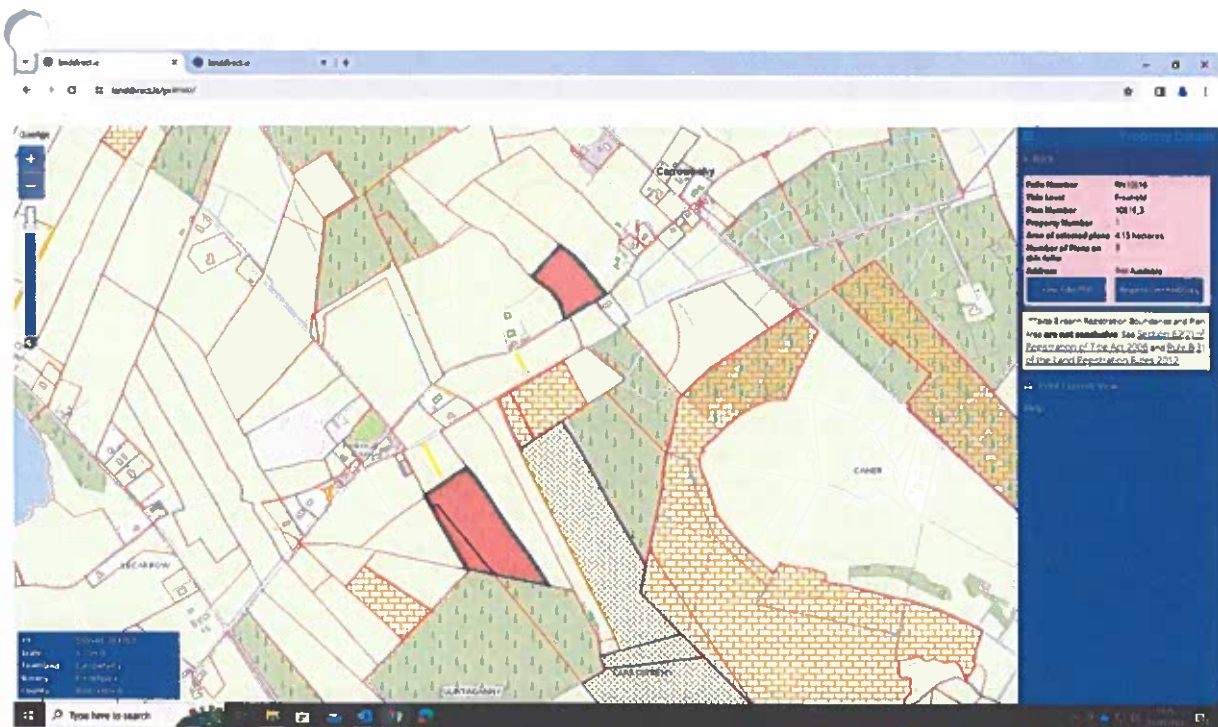


ALL WINDOWS AND DOORS TO COMPLY WITH TGD PART L 2022 REGULATIONS.

All internal doors shall be standard solid core flush or panel doors except for fire doors as required.

**ALL MATERIALS TO BE INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTIONS
AND SPECIFICATIONS.**

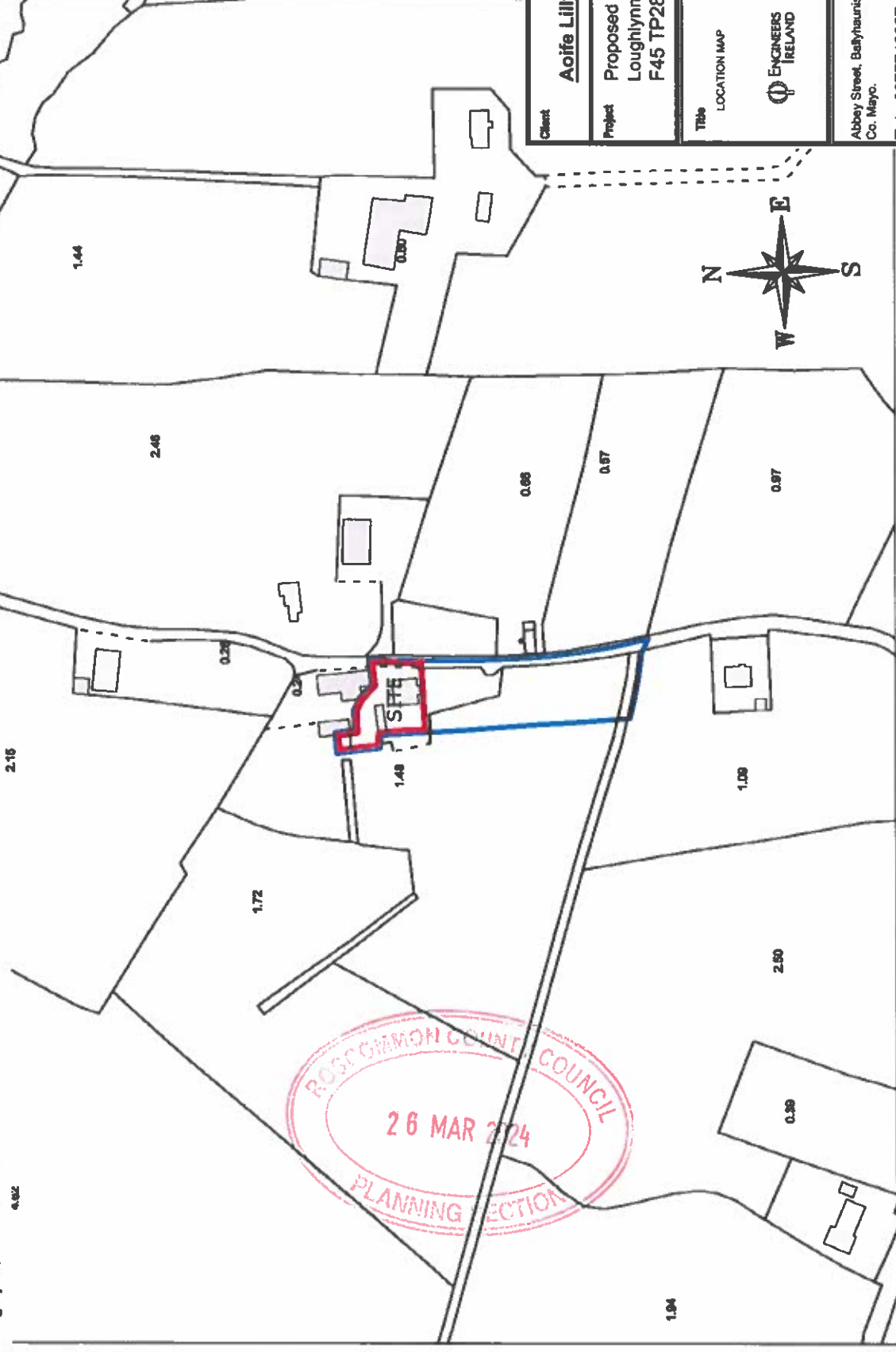




KURRI PLACE MAP

SITE OUTLINED IN RED
LAND OWNED BY LANDOWNER
OUTLINED IN BLUE
LOCATION= Proposed Development at Tully,
Loughlynn, Co. Roscommon. F45 TP28

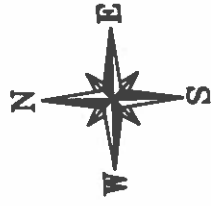
6.92



Scale:- 1:2,500
 Scale:- 1:2,500

0 50 100 200 300 400 500 600
 Metres
 0 100 200 300 400 500
 Feet

Plot Ref. No. 19725864_1
 Plot Date 20-SEP-2016



OSI 784716

ITM CENTRE PT. COORDS
 553308.784501



DESCRIPTION

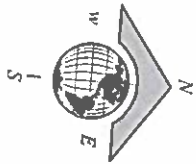
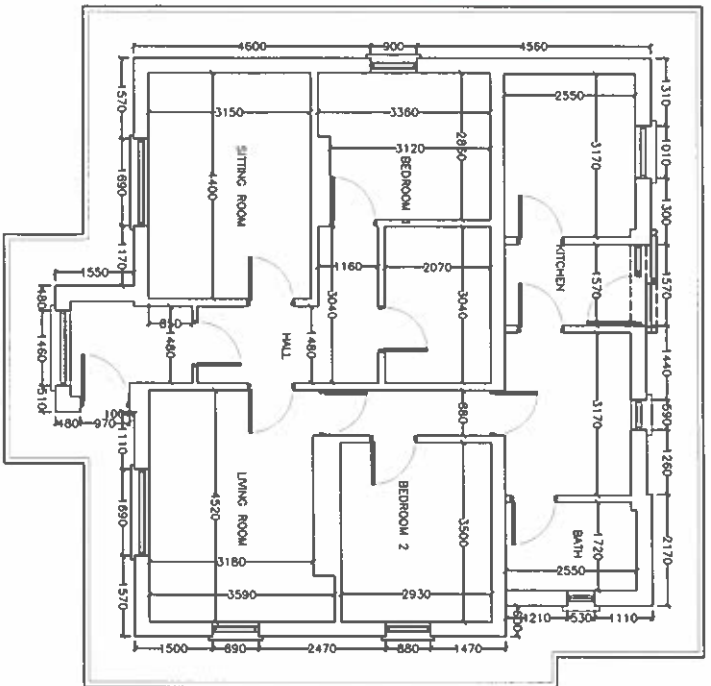
MAP SHEETS

Digital Map
 2082



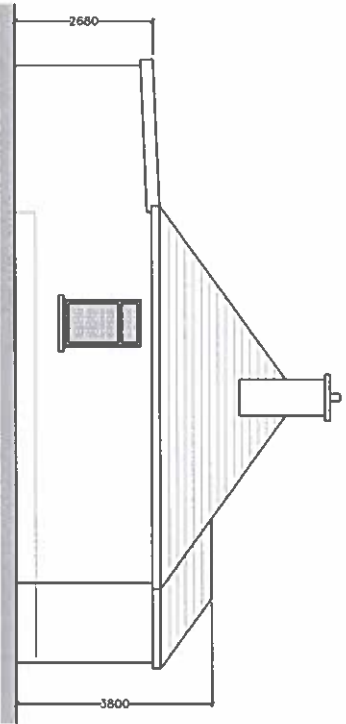
Also shown are areas including all surrounding landowners
 shown. This is for information only. All data is for
 copyright and published by Ordnance Survey
 Ireland, Phoenix Park, Dublin 8, Ireland.

Client Aoife Lilly		Scale 1/2500	
Project Proposed Development at Tully, Loughlynn, Co. Roscommon. F45 TP28		Date MAR 2024	
Title LOCATION MAP		Drawn By B.K.	
 ENGINEERS IRELAND		Drawing No. PA002	
 BK Engineering Design Abbey Street, Ballyvaughan, Co. Mayo. Tel : 0877743327 www.BKEngineeringDesign.com bkengineeringdesign@gmail.com			

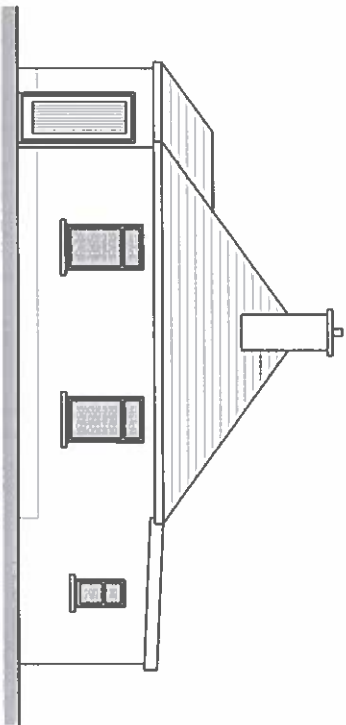


GROUND FLOOR PLAN
1:100

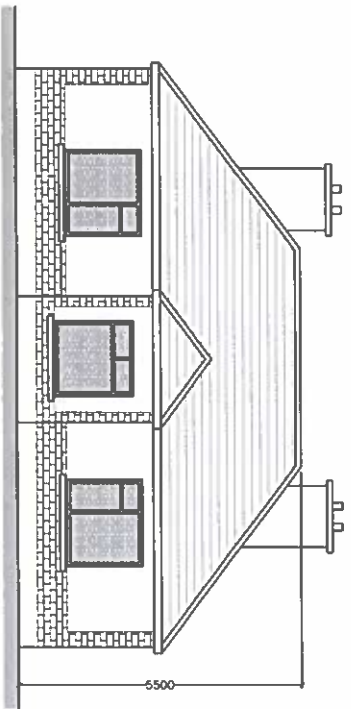
FLOOR AREAS:
EXISTING TOTAL FLOOR AREA = 96.86m sq (1042.59sq ft)



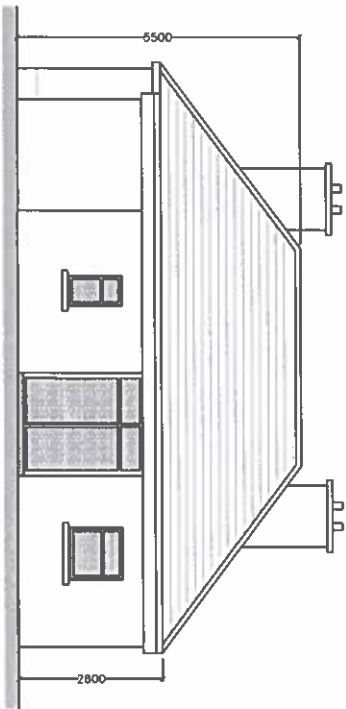
SIDE ELEVATION
1:100



SIDE ELEVATION
1:100



FRONT ELEVATION
1:100

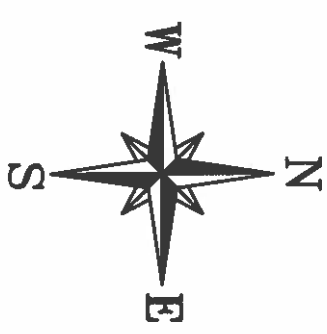
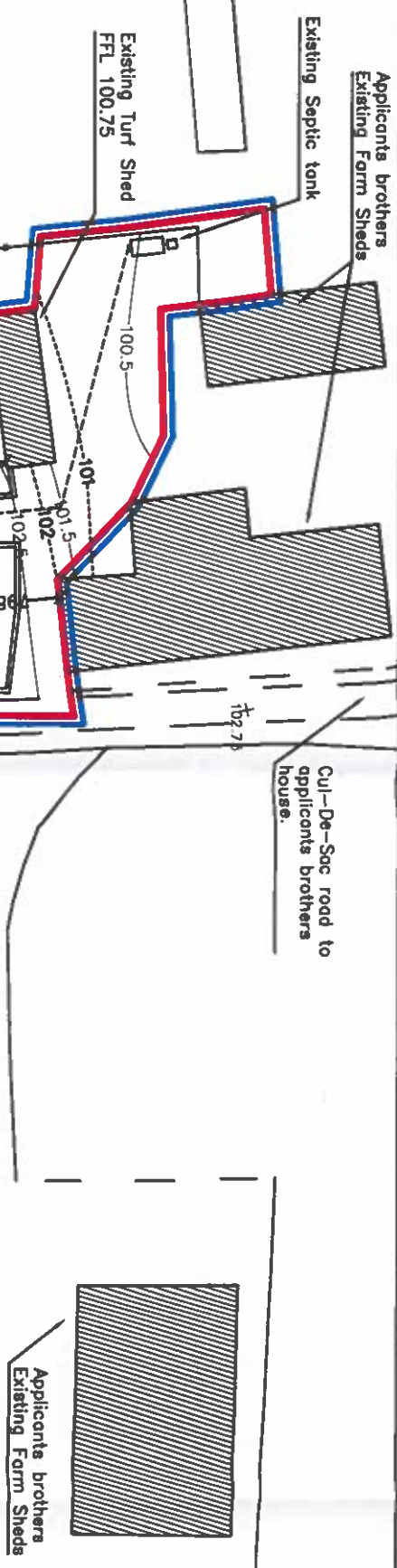


REAR ELEVATION
1:100

No.	Revision	Date
Client Patricia Lilly		
Project Proposed Development at Tully, Loughlyn, Co. Roscommon, F45 TP28		
Title PLANS & ELEVATIONS EXISTING DWELLING		Scale 1/100
Date MAR 2024		Drawn By B.K.
Drawing No. PA003		
Abbey Street, Ballynaught, Co. Mayo. Tel : 0877743327 www.BKEngineeringDesign.com BK Engineering Design		

NOTES
THIS DRAWING IS FOR PLANNING APPLICATION PURPOSES ONLY AND SHOULD NOT BE USED FOR BUILDING PURPOSES OR DETAILED BUILDING METHODS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY CONTRACTOR AND ANY DISCREPANCIES NOTIFIED TO THE ARCHITECT
DO NOT SCALE USE FIGURED DIMENSIONS ONLY
NOT FOR CONSTRUCTION

SITE OUTLINED IN RED
LAND OWNED BY LANDOWNER
OUTLINED IN BLUE
EXISTING LEVELS SHOWN THUS
LOCATION = TULLY, LOUGHLINN,
CO. ROSCOMMON. SCALE = 1/500



SITE AREA=0.086 HEC

SITE LAYOUT
scale 1:500

26 MAR 2024
PLANNING SECTION
ROSCOMMON COUNTY COUNCIL

No.	Revision	Date

Client
Aoife Lilly

Project
Proposed Development at Tully, Loughlinn,
Co. Roscommon. F45 TP28

Title SITE LAYOUT PLAN	Scale 1/500
	Date MAR 2024
	Drawn By B.K.
	Drawing No. PA003

Abbey Street, Ballyhaunis,
Co. Mayo.

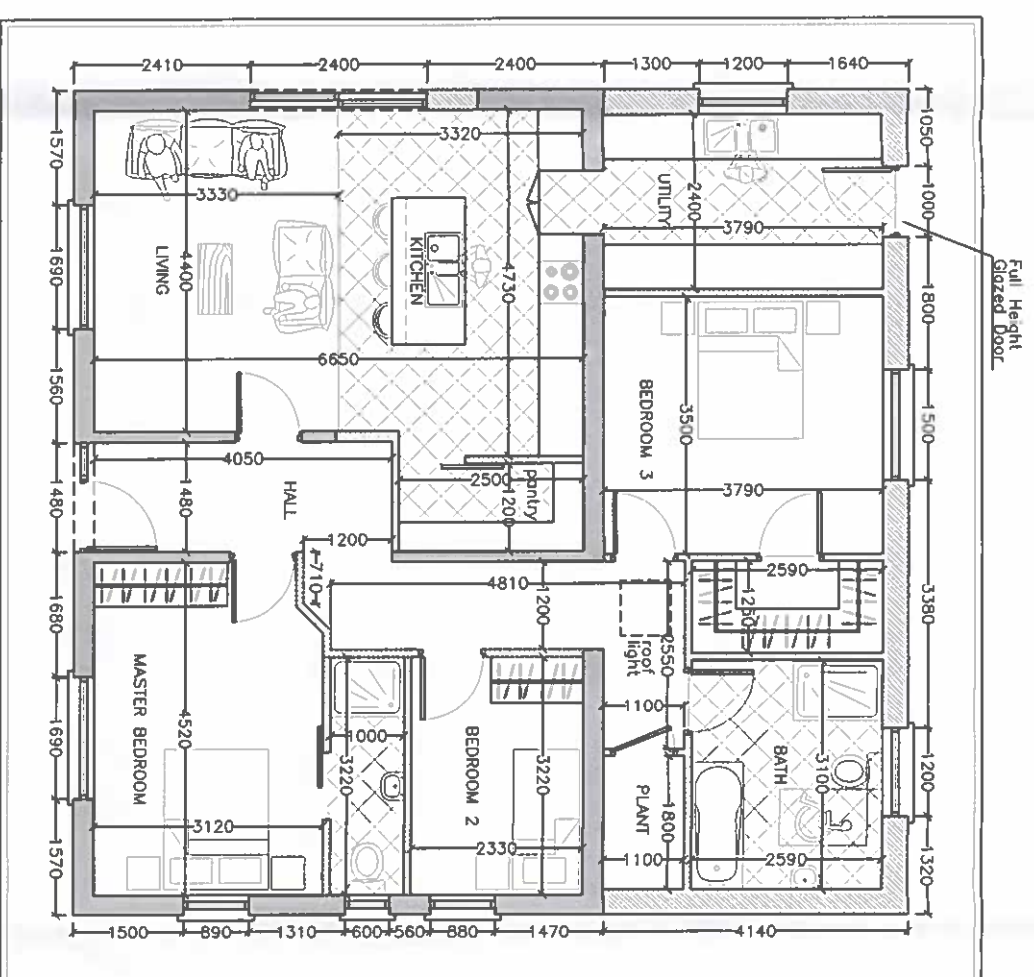
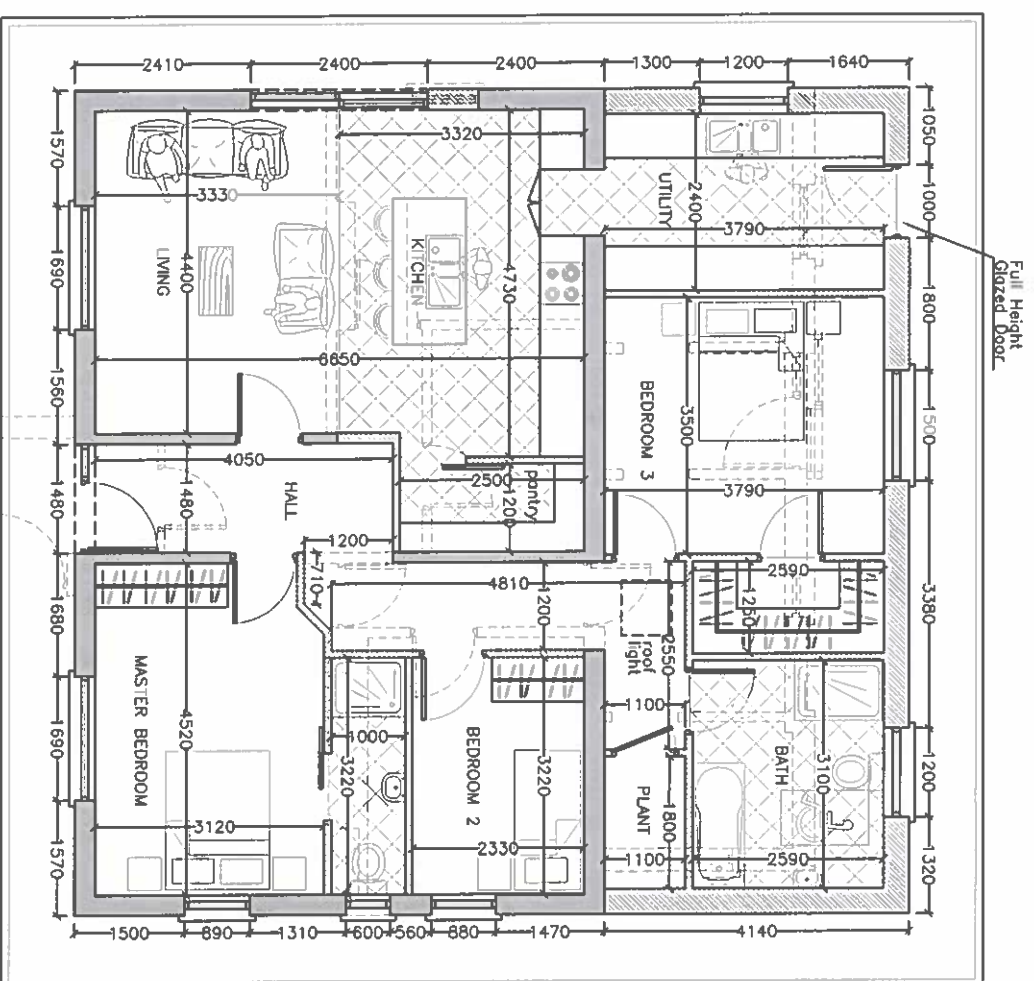
Tel : 0877743327

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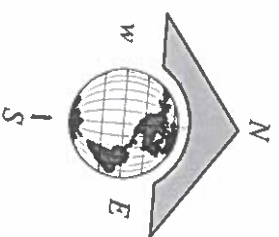


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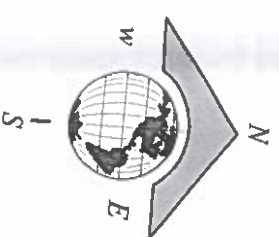
GROUND FLOOR PLAN
1:100

KEY
Existing Structure shaded thus
Walls to be removed
Proposed Construction shaded thus



GROUND FLOOR PLAN
1:100

KEY
Existing Structure shaded thus
Walls to be removed
Proposed Construction shaded thus



FLOOR AREAS:-
EXISTING TOTAL FLOOR AREA = 71.08m sq (765.09sq ft)
PROPOSED EXTENSION FLOOR AREA = 39.98m sq (430.34sq ft)
OVERALL TOTAL FLOOR AREA = 111.06m sq (1195.43sq ft)

No.	Revision	Date

Client
Aoife Lilly

Project
Proposed Development at Tully, Loughllyn,
Co. Roscommon. F45 TP28

Title PLANS, PROPOSED DWELLING EXTENSION	Scale	1/100
	Date	MAR 2024
	Drawn By	B.K.
	Drawing No.	PA004



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Co. Mayo.

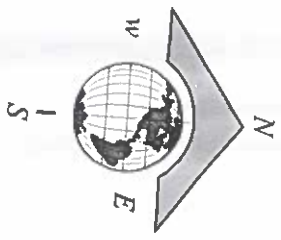
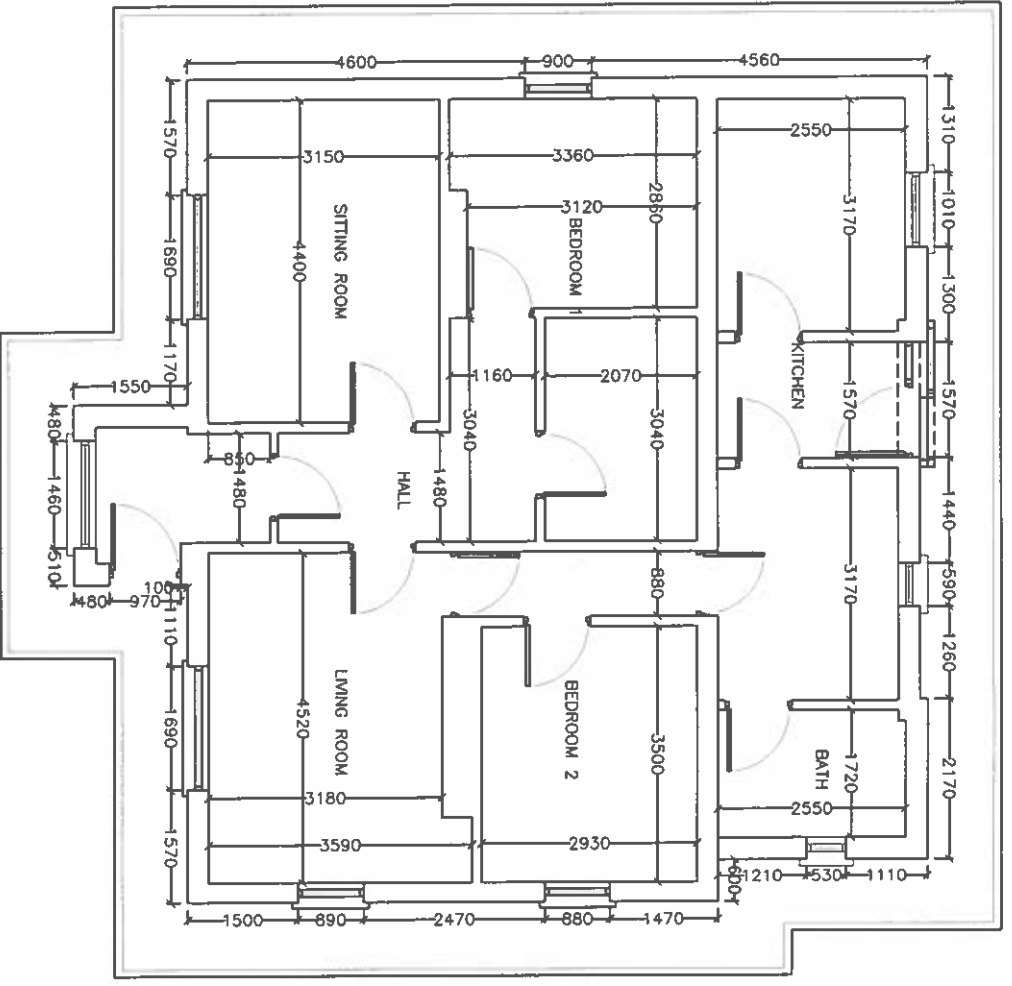
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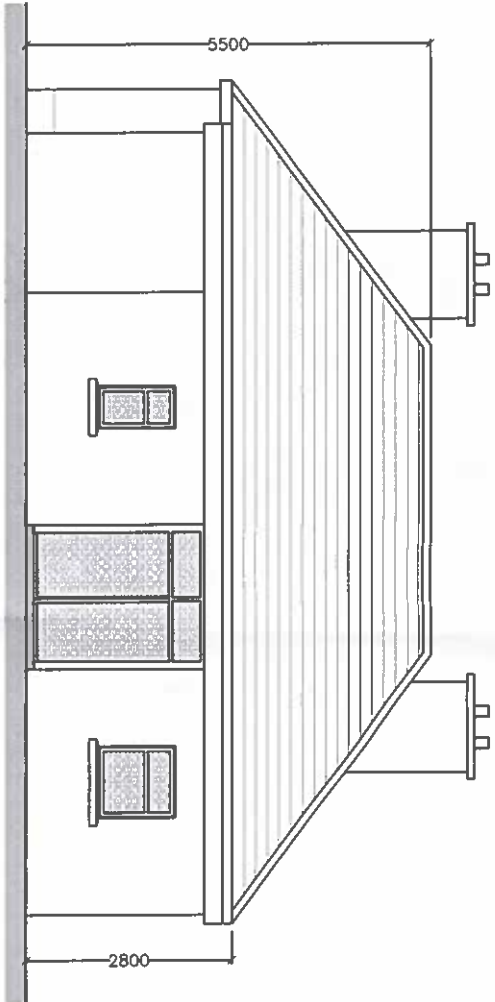


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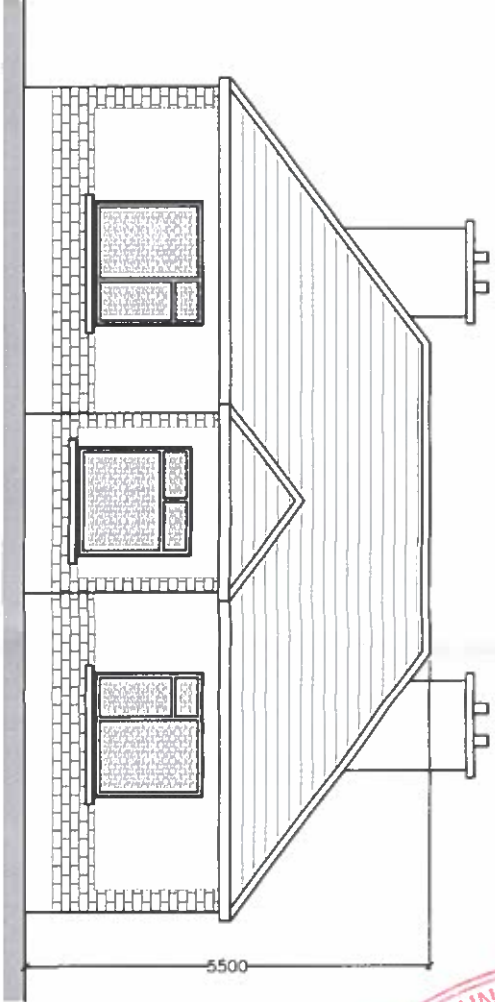
ROSCOMMON COUNTY COUNCIL
26 MAR 2024
PLANNING SECTION



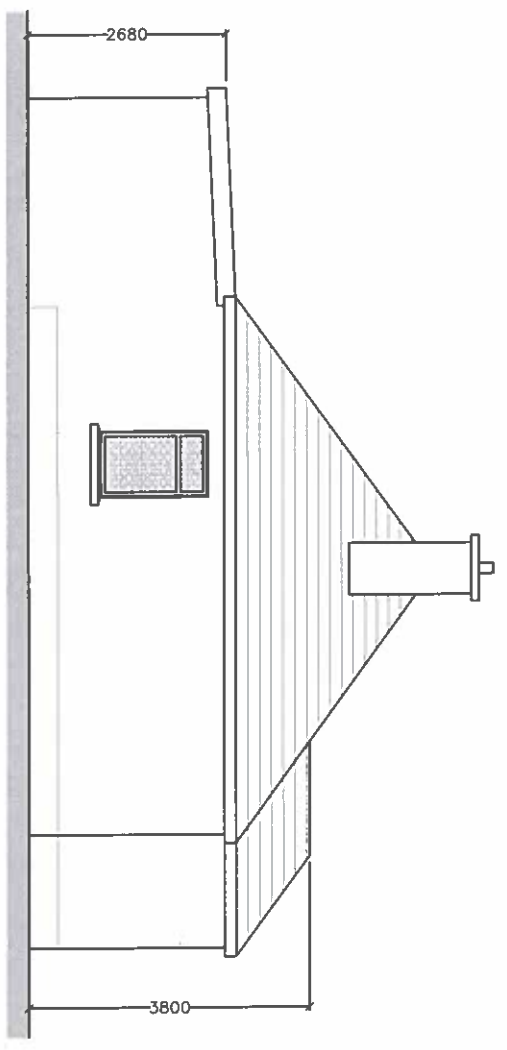
FLOOR AREAS:-
EXISTING TOTAL FLOOR AREA = 96.86m sq (1042.59sq ft)



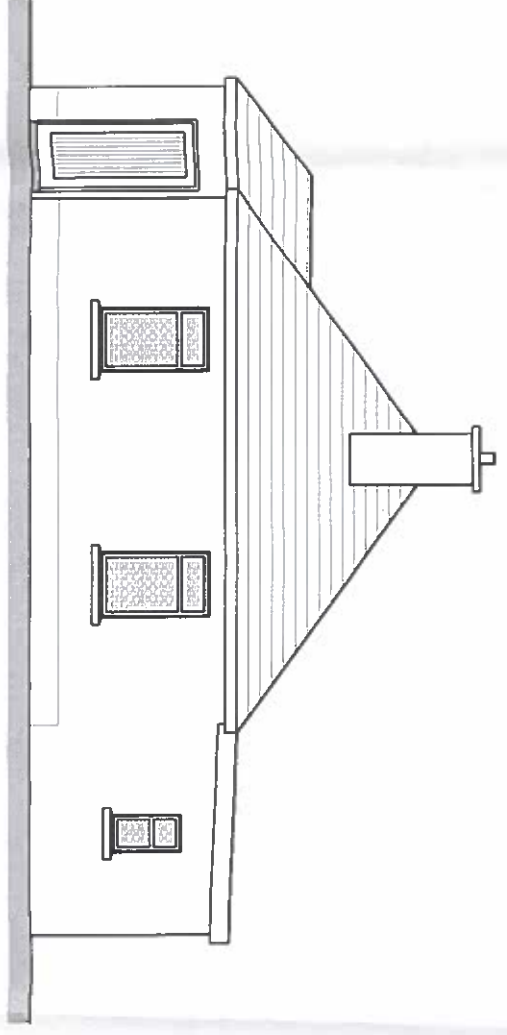
REAR ELEVATION
1:100



FRONT ELEVATION
1:100



SIDE ELEVATION
1:100



SIDE ELEVATION
1:100

No.	Revision	Date
Client Patricia Lilly		
Project Proposed Development at Tully, Loughlynn, Co. Roscommon, F45 TP28		
Title PLANS & ELEVATIONS EXISTING DWELLING		Scale 1/100
ENGINEERS IRELAND		Date MAR 2024
Drawn By B.K.		Drawing No. PA003
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