

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

REGISTERED POST

Bridie Finnerty,



Reference Number: DED 623

Application Received: 25th September, 2023

Applicant: Bridie Finnerty

Location: Tully, Castlerea, Co. Roscommon.

Agent: Martin Dowd, Rathcroghan Design, Ballyconboy, Ballinagare, Castlerea, Co. Roscommon.

WHEREAS a question has arisen as to whether the refurbishment of an old cottage and 25m² extension is or is not development or is or is not exempted development at Tully, Castlerea, Co. Roscommon is or is not development and is or is not exempted development.

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001 (as amended);
- (c) Class 1 of Part 1 Article 6 Schedule 2 of the Planning and Development Regulations, 2001 (as amended);
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act 2000 (as amended);
- (e) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- a) The proposed works constitute development as defined in the Planning and Development Act 2000 (as amended) and associated Regulations;
- b) The proposed development of the refurbishment of old cottage and 25m² extension to rear is not exempted development as defined in the Planning & Development Act 2000 (as amended) and associated Regulations.

NOW THEREFORE:

By virtue of the powers vested in me by the Local Government Acts 1925 – 2019 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and, having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said works consisting of **whether the refurbishment of an old cottage and 25m² extension is or is not development or is or is not exempted development at Tully, Castlerea, Co. Roscommon, is development that is not exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

A person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

ADVICE NOTE

This Declaration is based on the relevant Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended) at the date of issue. In the event that the Planning and Development Act 2000 (as amended) or the Planning and Development Regulations 2001 (as amended) change prior to the works being carried out this Declaration may no longer apply.

Signed on behalf of the Council:



Tracy Davis,
Senior Executive Planner,
Planning.

Date: 27th October, 2023

CC: Martin Dowd,
Rathcroghan Design,
Ballyconboy,
Ballinagare,
Castlerea,
Co. Roscommon.

**Planner's Report on application under Section 5 of the
Planning and Development Act 2000 (as amended)**

Reference Number: DED 623

Development Description: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon.

Name and Address of Applicant: Bridie Finnerty, [REDACTED]

Date: 25th October 2023

WHEREAS a question has arisen as to whether the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) Class 1 of Part 1 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, (as amended)
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act 2000 (as amended)
- (e) The planning history of the site

Site Location & Development Description

The subject site is located in the rural townland of Tully, Castlerea, Co. Roscommon, and is located c7.2km north of Castlerea. The subject site is situated on the western side of the L-1613-0 and a single storey cottage and an established farmyard occupies the site.

The question raised in this Declaration of Exempted Development is whether the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon, is or is not development and is or is not exempted development.

Planning History

No recent planning history attached to the subject site.

Historical planning permissions associated with the site.

14667/82

14667A/89

Assessment

In accordance with the Planning and Development Act 2000, (as amended) Section 3 (1) development is defined as the following:

"In this Act, "development" means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other

land". It is considered that the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon constitutes development, as defined in Section 3 of the Planning and Development Act 2000 (as amended).

Works are defined in the Act as; "works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure...." The proposed development is considered to be the carrying out of works.

There are two parts to the questions asked in this Declaration of Exempted Development to be considered. The first question to be determined in this Section 5 referral is whether 'refurbishment of the 'old' cottage' is or is not exempted development.

The applicant is proposing the following:

- Roof build up- the works are specified to include fibre cement slates.
- New windows and doors to be treble glazed.
- PVC guttering fascia and soffit.

Relevant Statutory Provision

Sub section 4 (1) (h) provides that development shall be exempt development if it consists of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

Having regard to the works proposed it is considered that the change of roof will materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure and therefore the works cannot be considered to be exempted development.

The second question to be determined in this Section 5 referral is whether '25m² extension to rear' of the old cottage is or is not exempted development.

PART 1 - Article 6 - Exempted Development – General

Description of Development	Conditions and Limitations
<p><i>Development within the curtilage of a house</i></p> <p>CLASS 1</p> <p>The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</p>	<p>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</p> <p>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which</p>

planning permission has been obtained, shall not exceed 40 square metres.

(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.

4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.

	<p>(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p> <p>7. The roof of any extension shall not be used as a balcony or roof garden.</p>
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It is proposed to construct an extension to the rear of the old cottage. It is stated that the floor area of the extension will be 25.2m². The external material finishes are stated to be plaster.

The red line boundary illustrated on the plans and particulars includes a second dwelling house which immediately adjoins the application site to the south of the cottage subject to this Declaration of Exempted Development and is stated to be connected into the existing WWTP serving the dwelling house to the south. From reviewing the planning register, it does not appear that there is any recent planning permission for this arrangement and two dwellings sharing one septic tank and percolation area.

The refurbishment of this cottage to share a septic tank and percolation area with the adjacent cottage is not considered exempted development.

From reviewing Satellite Imagery and Street View (Google Maps, Google Earth and Bing Maps) it appears that works may have been completed in order to widen the entrance on the subject site and site clearance works may have taken place (see appendix 1 attached). The use of this entrance for vehicular traffic would be problematic due to the presence of the shed immediately adjacent it which severely constrain the sight distance achievable. In addition, there are three site entrances and a road junction in very close proximity with one another which would exacerbate the traffic hazard. Furthermore, it appears some works may have been carried out to protect the structure from falling into further disrepair.

In accordance with Article 9(1)(a)(iii) of the Planning and Development Regulations 2001 as amended, development shall not be considered exempted development if it would endanger public safety by reason of traffic hazard or obstruction of road users;

Restrictions on exemption. 9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act— (a) if the carrying out of such development would— (iii) endanger public safety by reason of traffic hazard or obstruction of road users,

Environmental Considerations:

The development is not of a nature set out in Part 2 Schedule 5 of the Planning and Development Regulations 2001 (as amended). The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination for EIAR is not required.

The site is located c.670m away from Bellanagare Bog SAC (site code: 000592) and Bellanagare Bog SPA (site code: 004105). Having regard to the proximity and potential hydrological link from the subject site it is considered that there is a requirement to screen for an Appropriate Assessment. A screening has been completed for this application and it is concluded that either alone or in combination with other plans/projects potential impacts on European Sites cannot be ruled out and Stage 2 Appropriate Assessment is required due to the proximity to the subject site and potential connected hydrological link.

In accordance with Section 4(4) of the Planning and Development Act 2000 (as amended) development shall not be exempted where an appropriate assessment is required.

Section 4(4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

Recommendation

WHEREAS a question has arisen as to whether the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, (as amended)
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, (as amended)
- (c) Class 1 of Part 1 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, (as amended)
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000, (as amended)
- (e) The planning history of the site

AND WHEREAS I have concluded that

- a) The works are development.
- b) The refurbishment of old cottage and 25m² extension to rear is **not** exempted development.

I recommend that a declaration to that effect should be issued to the applicant.

Signed: 
Assistant Planner

Date: 25th October 2023



**APPROPRIATE ASSESSMENT
SCREENING REPORT
For
Planning Application DED 623**

Development: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of old cottage and 25m² extension to rear at Tully, Castlerea, Co. Roscommon.



**Comhairle Contae
Ros Comáin**
Roscommon
County Council

A handwritten signature in black ink, appearing to be 'Gina'.

Screening for Appropriate Assessment: DED 623

Table 1: Project Details

Development Consent Type	Section 5, Declaration of Exempted Development
Development Location	Tully Townland, Castlerea, Co. Roscommon
File Reference Number	DED 623
Description of the Project	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of old cottage and 25m2 extension to rear at Tully, Castlerea, Co. Roscommon.

Table 2: Identification of Natura 2000 Sites (SACs and SPAs) which may be impacted by the proposed development

Please answer the following questions in order to determine whether there are any Natura 2000 sites which could potentially be impacted by the proposed development.

Special Areas of Conservation (SAC)

Impacts on habitats

1.	Impacts on Freshwater Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats, or in the catchment of same?</p> <p>Sites to consider <u>Mullygollan Turlough SAC</u> (Site Code: 000612) Distance from Site: 8.61 km Designated features: Turloughs (#3180)</p>	<p>No.</p> <p>No significant impacts on this Natura site are likely.</p>
2.	Impacts on Bog Mires and Fens Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Bog Mires and Fens habitats, or within 1km of same?</p>	<p>Yes</p>

<p>Sites to consider</p> <p><u>Tullaghanrock Bog SAC</u> (Site Code: 002354) Distance from Site: 12.32 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impacts on this Natura site are likely.</p>
<p><u>Cloonshanville Bog SAC</u> (Site Code: 000614) Distance from Site: 5.06 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impacts on this Natura site are likely.</p>
<p><u>Cloonchambers Bog SAC</u> (Site Code: 000600) Distance from Site: 10.48 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impacts on this Natura site are likely.</p>
<p><u>Bellanagare Bog SAC</u> (Site Code: 000592) Distance from Site: 0.67 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>It is considered there could be potentially direct impacts on this site as a result of the developments proximity to the designated area. Significant impacts cannot be ruled out and therefore a stage 2 AA is required.</p>
<p><u>Drumalough Bog SAC</u> (Site Code: 002338) Distance from Site: 10.39 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impacts on this Natura site are likely.</p>
<p><u>Corliskea/Trien/Cloonfelloiv Bog SAC</u> (Site Code: 002110) Distance from Site: 12.45 km Designated features: Active raised bogs</p>	<p>No significant impacts on this Natura site are likely.</p>

	<p>(#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p> <p><u>Callow Bog SAC</u> (Site Code: 000595) Distance from Site: 10.06 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	No significant impacts on this Natura site are likely.
3.	Impacts on Forests Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Forests habitats, or within 1km of same?</p> <p>Sites to consider <u>Cloonshanville Bog SAC</u> (Site Code: 000614) Distance from Site: 5.06 km Designated features: Bog woodland (#91D0)</p> <p><u>Corliskea/Trien/Cloonfelliv Bog SAC</u> (Site Code: 002110) Distance from Site: 12.45 km Designated features: Bog woodland (#91D0)</p>	<p>No</p> <p>No significant impacts on this Natura site are likely.</p> <p>No significant impacts on this Natura site are likely.</p>
4.	Impacts on Grasslands Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Grasslands habitats, or within 1km of same?</p> <p>Sites to consider</p>	Not Applicable.

	None	
5.	Impacts on Heath and Scrub Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Heath and Scrub habitats, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
6.	Impacts on Rocky Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Rocky habitats, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
7.	Impacts on Dunes Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Dunes habitats, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
8.	Impacts on Coastal Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Coastal habitats, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.

Impacts on Species

1.	Impacts on Amphibians	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Amphibians, or in the catchment of same?</p> <p>Sites to consider None</p>	Not Applicable.
2.	Impacts on Anthropods	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Anthropods or within 1km of same?</p> <p>Sites to consider <u>Cloonchambers Bog SAC</u> (Site Code: 000600) Distance from Site: 10.48 km Designated features: Euphydrys aurinia (Marsh Fritillary) (#1065) <u>Bellanagare Bog SAC</u> (Site Code: 000592) Distance from Site: 0.67 km Designated features: Euphydrys aurinia (Marsh Fritillary) (#1065) <u>Callow Bog SAC</u> (Site Code: 000595) Distance from Site: 10.06 km Designated features: Euphydrys aurinia (Marsh Fritillary) (#1065)</p>	<p>Yes</p> <p>No significant impacts on this Natura site are likely.</p> <p>It is considered there could be potentially direct impacts on this site as a result of the developments proximity to the designated area. Significant impacts cannot be ruled out and therefore a stage 2 AA is required.</p> <p>No significant impacts on this Natura site are likely.</p>
3.	Impacts on Fish	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Fish, or within 1km of same?</p> <p>Sites to consider</p>	Not Applicable.

	None	
4.	Impacts on Mammals	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Mammals, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
5.	Impacts on Molluscs	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Molluscs, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
6.	Impacts on Non-vascular Plants	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Non-vascular plants, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
7.	Impacts on Reptiles	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Reptiles, or within 1km of same?</p> <p>Sites to consider None</p>	Not Applicable.
8.	Impacts on Vascular Plants	Likely Effects (direct, indirect or cumulative)

Is the development within a Special Area of Conservation whose qualifying interests include Vascular Plants, or within 1km of same?	Not Applicable.
Sites to consider None	

Special Protection Areas (SPA):

1.	Impacts on Birds	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Protection Area, or within 1km of same?</p> <p>Sites to consider</p> <p><u>Lough Gara SPA</u> (Site Code: 004048) Distance from Site: 10.01 km Designated features: Whooper Swan (Cygnus cygnus) (#A038), Greenland White-fronted Goose (Anser albifrons flavirostris) (#A395)</p> <p><u>Bellanagare Bog SPA</u> (Site Code: 004105) Distance from Site: 0.67 km Designated features: Greenland White-fronted Goose (Anser albifrons flavirostris) (#A395)</p>	<p>Yes</p> <p>No significant impacts on this Natura site are likely.</p> <p>It is considered there could be potentially direct impacts on this site as a result of the developments proximity to the designated area. Significant impacts cannot be ruled out and therefore a stage 2 AA is required.</p>

All designated sites within a 15km radius of the subject site have been considered in this screening for Appropriate Assessment.

Conclusion Table 2: If the answer to all of these questions is no, significant impacts can be ruled out for Natura 2000 sites. No further assessment is required; proceed to the Habitats Directive Conclusion Statement. Please refer to tables 3 and 4 where the answer to any of these questions is yes.

Screening for Appropriate Assessment - Conclusion Statement

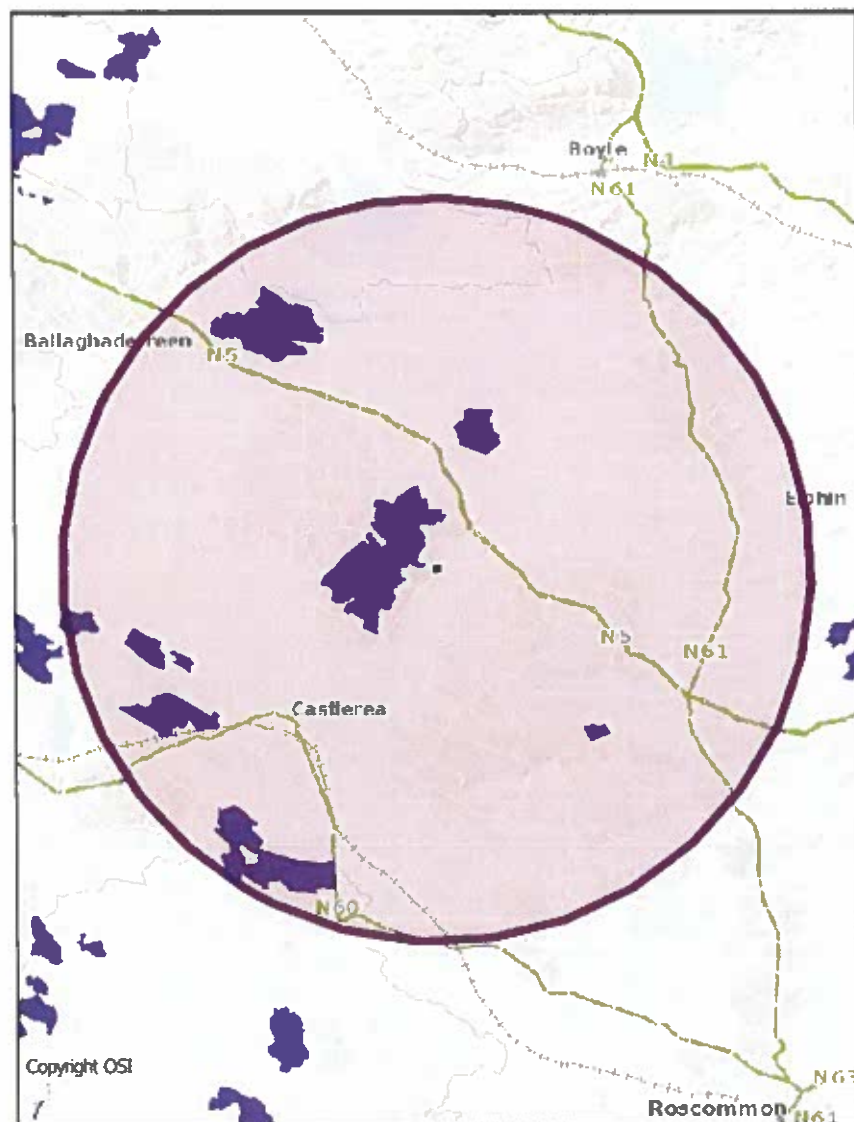
Development Type: Section 5, Declaration of Exempted Development
Development Location: Tully Townland, Castlerea, Co. Roscommon
Natura 2000 sites within impact zone: SAC:002354, SAC:002338, SAC:002110, SAC:000614, SAC:000612, SAC:000600, SAC:000595, SAC:000592, SPA:004105, SPA:004048
Planning File Reference Number: DED 623
Description of the Project: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of old cottage and 25m2 extension to rear at Tully, Castlerea, Co. Roscommon. Describe how the project or plan (alone or in combination) could affect Natura 2000 sites (s): Potential direct impact has been identified – due to the sites location adjacent to Bellanagare Bog SAC and SPA.
If there are potential negative impacts, explain whether you consider if these are likely to be significant, and if not, why not: Having regard to the proximity of the site to a European Site and the nature of the development, connectivity via a potential hydrological link the development could generate significant impacts cannot be ruled out and therefore a stage 2 AA is required.
Conclusion of Screening Assessment: Following an assessment of the proposed development and any potential relationships with European Sites, it is concluded that I cannot at this stage rule out the potential for adverse significant impacts on Bellanagare Bog SAC and SPA as a result of the proposed development either alone or in combination with other plans or projects.
Documentation reviewed for making this statement: Roscommon County Development Plan 2022-2028, Documentation submitted with the application for a Declaration under Section 5 of the Planning & Development Act, 2000 NPWS.ie Article 6 of the Habitats Directive.
Completed by: Karen Dunleavy, Assistant Planner
Date: 25 th October 2023

Signed: Karen Dunleavy
Karen Dunleavy
Assistant Planner

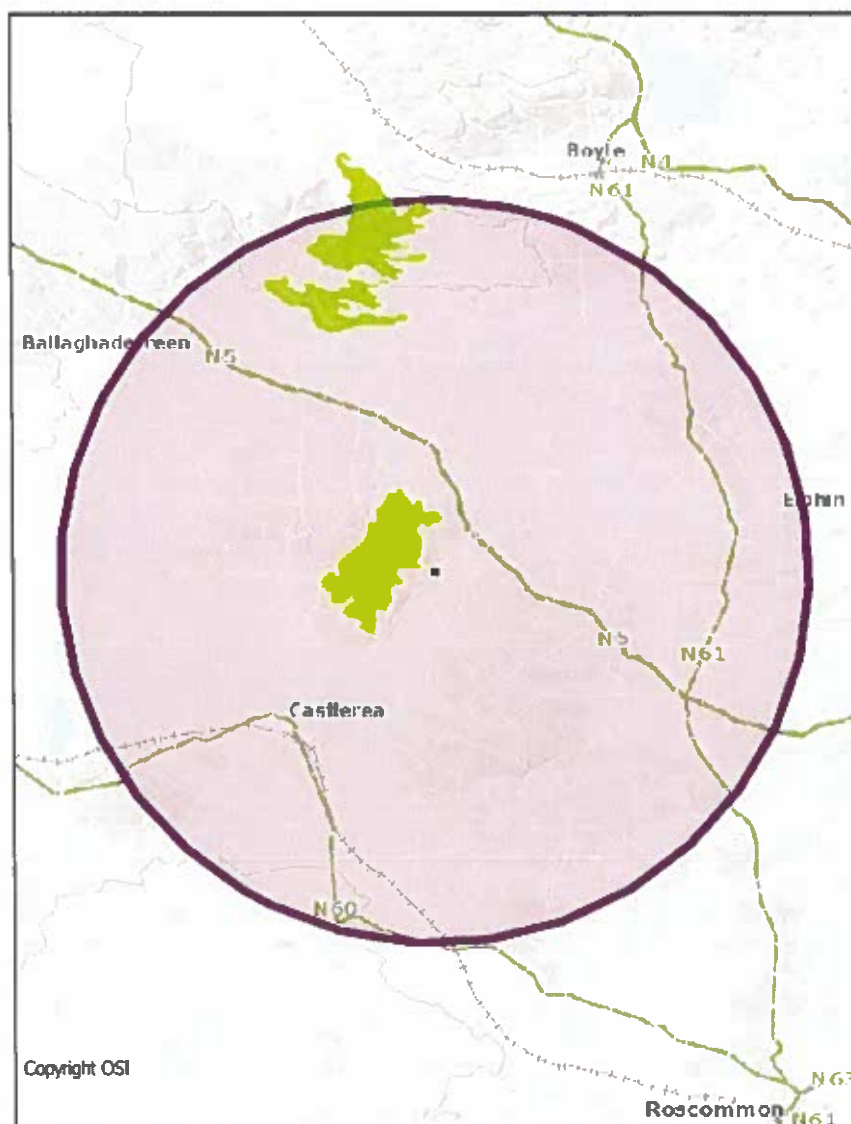
25th October 2023
Date: _____

Signed: Tracy Davis
Tracy Davis
Senior Executive Planner

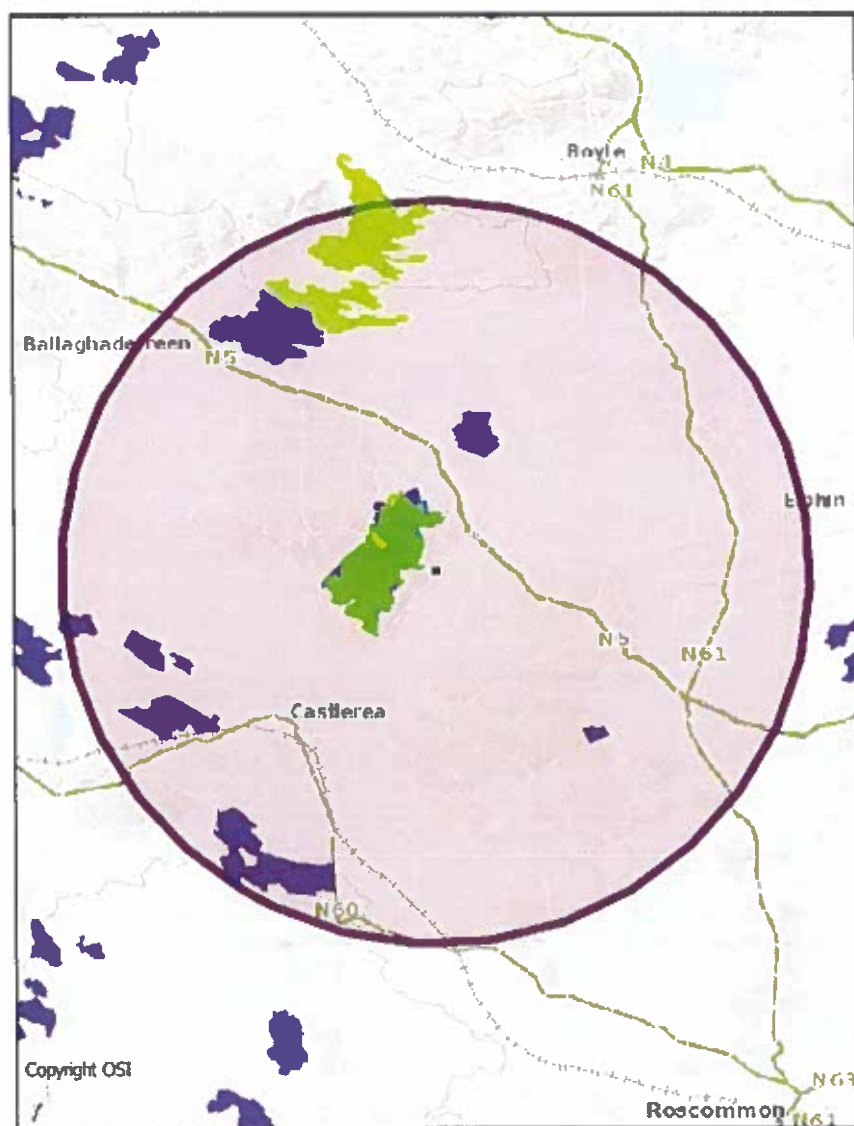
Date: 26/10/2023



SAC (blue) within 15km of DED 623



SPA (green) within 15km of DED 623



SAC & SPA within 15km of DED623

DeO 623







Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



Appendix 1



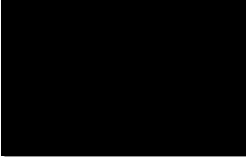
Appendix 1



Appendix 1



Bridie Finnerty,



Date: 10th October, 2023.

Planning Reference: DED 623

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000
(as amended), regarding Exempted Development.

Development: The refurbishment of an old cottage and 25m² extension to rear at Tully, Castlerea, Co.
Roscommon.

A Chara,

I wish to acknowledge receipt of your application received on the 25th September, 2023, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00 Receipt No. **L01/0/224758** dated 25th September, 2023 refers, receipt enclosed herewith.

Note: Please note your Planning Reference No. is **DED 623**.

This should be quoted in all correspondence and telephone queries.

Mise le meas,

A handwritten signature in cursive script that reads "Tracy Davis".

Tracy Davis,
Senior Executive Planner,
Planning Department.

cc. Martin Dowd,
Rathcroghan Design,
Ballyconboy,
Ballinagare,
Castlerea,
Co. Roscommon.

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

25/09/2023 15:09:29

Receipt No L01/0/224758

BRIDIE FINNERTY



PLANNING APPLICATION FEES 80.00
GOODS 80.00
VAT Exempt/Non-vatable
DED623

Total : 80.00 EUR

Tendered
Cash 80.00

Change 0.00

Issued By Aine McDermott
From Central Cash Office



DED 623



Comhairle Contae
Ros Comáin
Roscommon
County Council

Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000, regarding Exempted Development

Name:	Bridie Finnerly
Address:	[REDACTED]
Name & Address of Agent:	Martin Dowd Rathcroghan Ballinagane
Nature of Proposed Works	Refurb of old Cottage & 25m ² Extension TO REAR.
Location (Townland & O.S No.)	Tully
Floor Area	Extension 25.6 m ² Existing 95m ²
Height above ground level	2.8 m
Total area of private open space remaining after completion of this development	0.17 Hectares
Roofing Material (Slates, Tiles, other) (Specify)	SLATES
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	PLASTER AND
Is proposed works located at front/rear/side of existing house.	REAR

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,
regarding Exempted Development

Has an application been made previously for this site	No
If yes give ref. number (include full details of existing extension, if any)	N/A
Existing use of land or structure	Vacant Dwelling
Proposed use of land or structure	Dwelling House
Distance of proposed building line from edge of roadway	1.0 m Existing Building line
Does the proposed development involve the provision of a piped water supply	YES - Existing
Does the proposed development involve the provision of sanitary facilities	YES Existing

Signature: Bridie Finerty

Date: 22/9/23

Note: This application must be accompanied by:-

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Detailed specification of development proposed



[REDACTED]
28/09/2023

Planning Section
Roscommon County Council

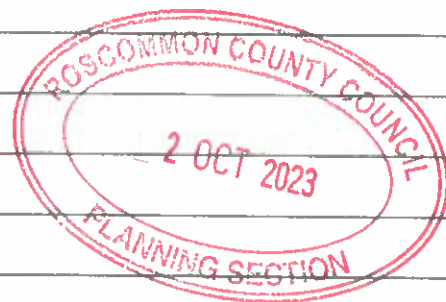
Re DED 623

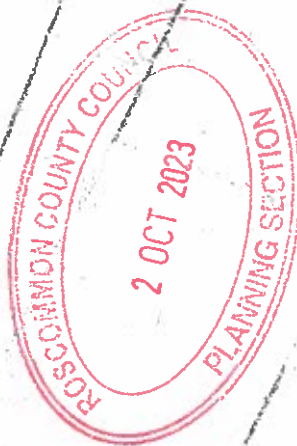
To whom it may concern

Please find enclosed site map and
specifications as requested in relation
to DED 623 for Bridie Finnerty

If you should require anything further
please contact [REDACTED]

Yours sincerely





14127-2

DPH8W

14130-1

A62KH

14131

14126-1

GE60

Tully T.d.,

14132

L1613

TO BALINAGARE

D2W9M

A4XV

TO CASLEREA

ITM Co-ordinates 572696, 785168

OS MAP

SCALE 1:2500



Specification Dwelling at Tully T.d for Bridie Finnerty



Site Preparation and Health and Safety

It is the contractor's responsibility to ensure the site is secure at all times. It is also the contractor's responsibility to ensure a risk assessment is carried out and that a Health and Safety Plan is followed at all times

Foundation

All topsoil is to be removed in preparation for foundations. Foundations are to be excavated to a minimum of 600mm or until solid ground is encountered. Strip foundation 1100x400mm for external walls and 600mm x 400mm for internal walls using 30N concrete reinforced with 5 No, 12mm bars evenly spaced in the bottom of foundation with 10mm distribution steel at 400mm intervals..

External Walls

All external wall are to be cavity block walls consisting of two leafs of 100mm block work with 150mm cavity with 120mm Cavity insulation to achieve 0.18w/m²k. A continuous course of Roadstone Thermalite to perimeter of building on all internal rising walls and behind window sills and at eaves to be provided. The finish on the exterior of the walls is to 12mm Nap Plaster finish on 12mm scratch coat. The internal walls shall have a 12mm plaster with skim finish. A continuous Damp proof course to be provided along both leaves of the external wall 150mm above ground level.

Internal Walls

All internal walls to be 100mm blockwork finished using 12mm plaster with 3mm skim coat at ground floor level. Internal walls at first floor level to be metal stud partition with 12mm Gypsum Plasterboard with 3mm skimcoat

Floors

Ground under floors to be prepared by excavating to solid ground and placing 150mm layers of compacted hardcore to the required level. Floor to be constructed of 75mm screed placed on 150mm Polystyrene Floor Insulation to achieve 0.15w/m²k with 50mm up-stand edge insulation with polysulphide metal seal at thresholds. Floor slab to be constructed of 150mm 30N concrete with A 252 mesh placed on 1200 gauge radon barrier inter lapped with DPC.

Doors and Windows

All new windows and doors to be Treble glazed to achieve a solar transmittance of 0.64 and a U-value of 0.85w/m²k and be white PVC to match existing windows. All cavity openings to have fire cavity closers, vertical DPC with airtightness tape and mastic seals to all openings.

Mechanical and Electrical

100% low energy lighting throughout with exception of cooker hoods and bathroom shaving mirror.

All wall fittings to be confirmed with client prior to chasing. No back to back chasing.

Chasing depths to be as per homebond manual (1/3rd wall depth vertical; 1/6th horizontal). con saw cuts to be neat and tidy.

Light switches in accessible areas should be located at a level between 900mm and 1200mm above F.F.L.

Switches and socket outlets for lighting and other equipment in accessible areas should be located at appropriate heights between 400mm and 1200mm from finished floor level. Proposed to use service void to first floor ceilings below airtight membrane, therefore no penetrations are acceptable. Where accidental penetrations occur notify main contractor immediately and arrange for patching of same with suitable tape to siga specification.

Heating by means of an air to water heat pump (samsung or equal approved) sized by plumber.

Mechanical ventilation to be installed with zoned control. rigid ducting with approved fire collars. Supplier to provide specification and schematic for approval.

Wheelchair Accessible Ramp

A wheelchair Accessible ramp is to be provided as per drawing and in compliance with Part M of the 2010 Building Regulations as amended. As access is via the patio area which is above DPC an eco drain is to be provided for the full width of the wheelchair access door

Guttering

PVC guttering fascia and soffit to be used with prior approval from client

Radon Sump.

Radon sump and 100mm extract pipe to be brought outside as shown and capped. allow for gap of 115mm every 1800mm in rising blockwork at radon sump level as per homebond detail. note 2 no. sumps to be provided as shown.

Roof Build Up



Fire cement slates to agreed colour to be installed as per manufactures specification and details on timber battens on 38mm x 38mm vertical timber counter battens 'ce' marked on 'tyvec' or similar approved breather membrane. 47mm x 150mm timber roof truss to engineers details with unventilated air space with vapour control layer and 15mm type "a" plasterboard taped and jointed with skim coat finish.

Contractor to allow for the supply and installation of all flashings, fixings, trims, metal supports, roof ventilators etc as required to complete the installation of the roof so that same is fully watertight. ensure gap between wall plate and proprietary eaves vent is packed and completely filled with insulation having a min. r-value across the insulation of thickness of 3.00m²k/w. use min. 100mm pir type board (xtratherm rafterloc or similar. approved).

Insulation

Floor insulation to be 150mm Kingspan or equivalent to achieve a minimum U-value of 0.18w/m²k with minimum 25mm edge insulation to reduce thermal bridging.

Wall insulation to be Kingspan K8 120mm or equivalent to achieve a minimum U-value of 0.18w/m²k

Roof insulation to be minimum 300mm fibre glass wool insulation between or above ceiling joist with 65mm thermal board with VCL to underside of ceiling joists. A minimum U-value 0.16 w/m²k

Airtightness.

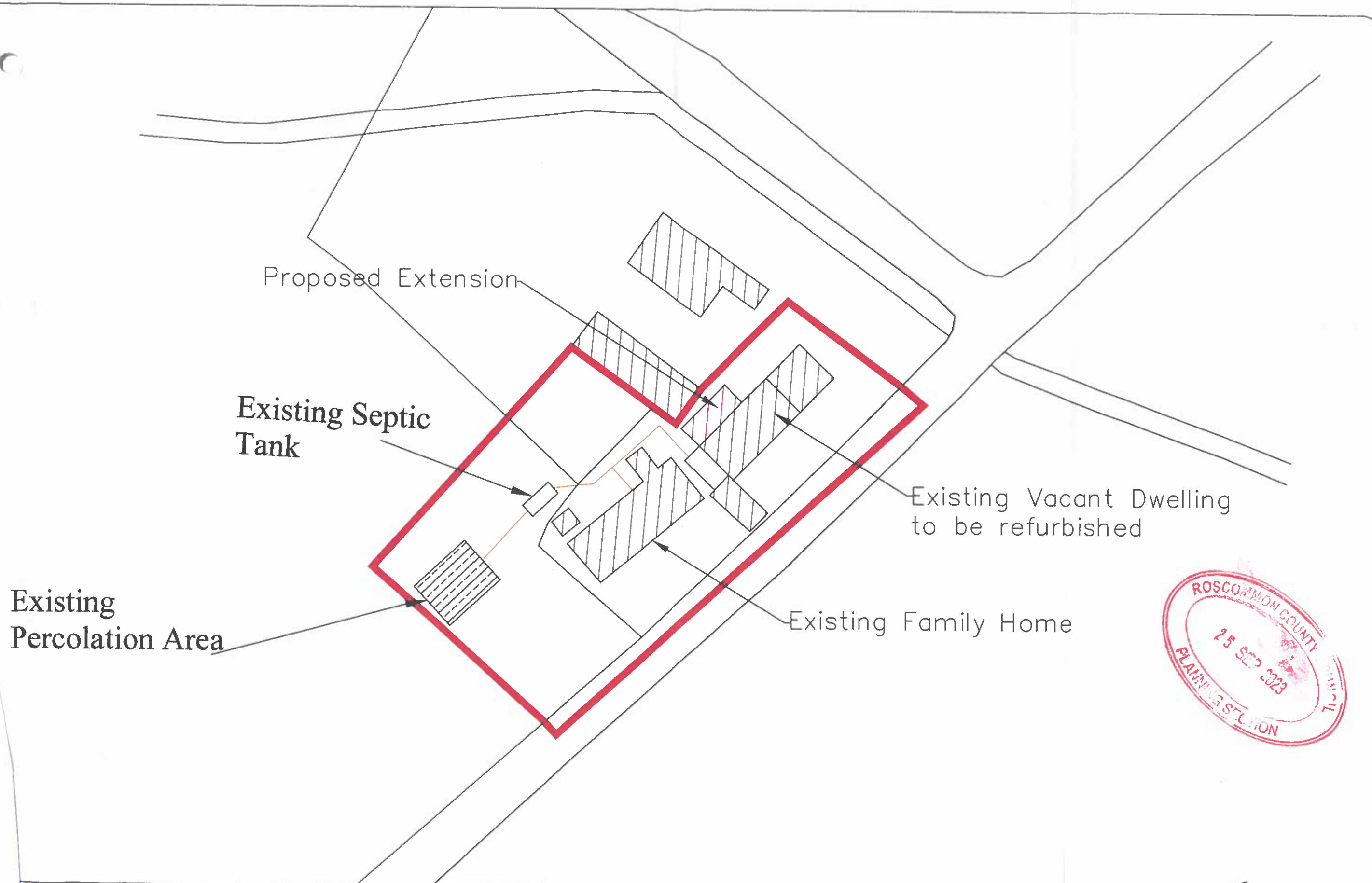
This dwelling is to be airtight. Air pressurization tests (blow door tests) to be carried out in accordance with EN 13829:2000 and must be carried out on this dwelling. All details to comply with the department of environments acceptable construction details. available online for download for free. A copy should be maintained onsite and signed as each detail is complied with. It is the contractors responsibility to ensure the construction attains the desired level of airtightness. any concerns or queries the contractor has should be directed to the design certifier prior to works commencing onsite.

All electrical points in external walls to be sealed with airtight tape.

All window and door opening to be sealed with airtightness tape before plasterwork

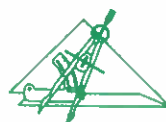
Contractor to confirm with HRV supplier that presence of HRV system removes need for separate extract fans in wet rooms (otherwise include for extracts to wet rooms)





RATHCROGHAN DESIGN

Ballinagare, Castlerea, Co. Roscommon
484 E-mail: rathcroghandesigns@gmail.com



Client



Title

Site Layout

Scale: 1:500

Drawn: MARTIN DOWD

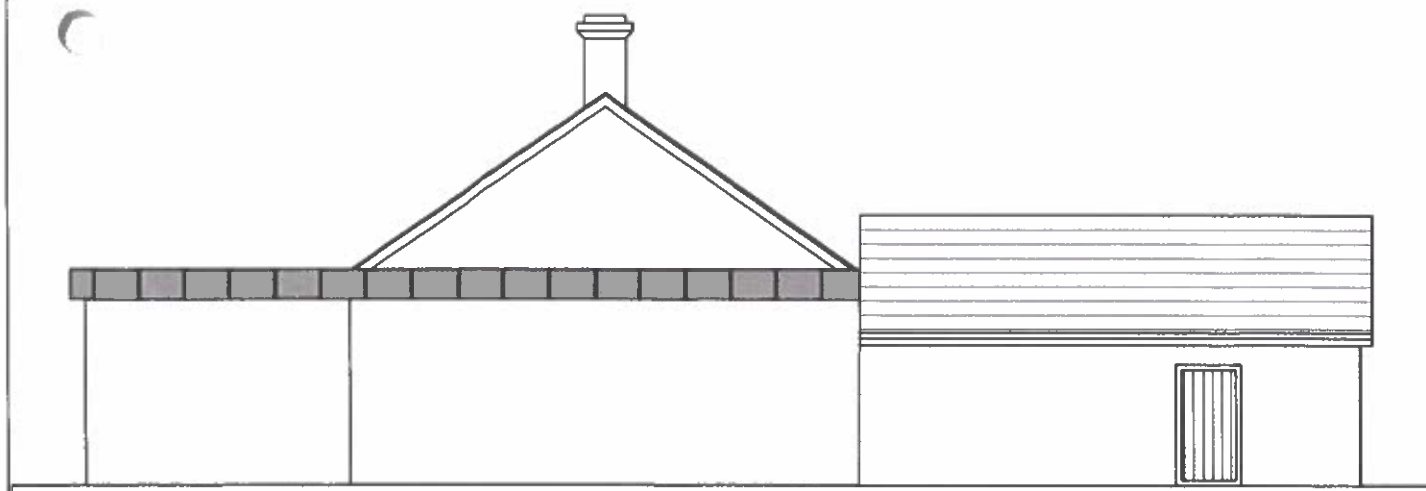
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1 OF 1

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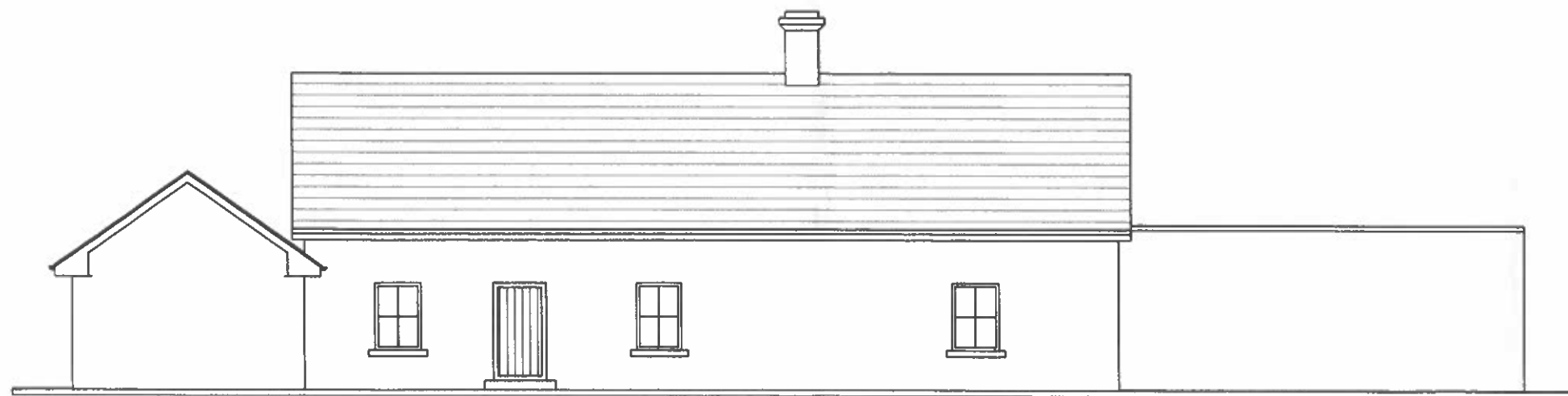
22-157



Side Elevation



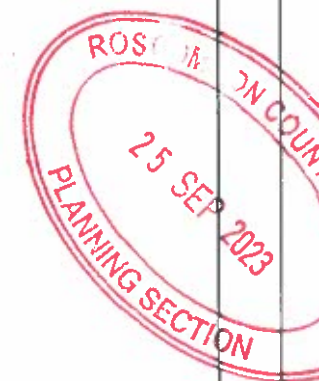
Side Elevation



Front Elevation



Rear Elevation



RATHCROGHAN DESIGN

Ballyconboy, Ballinagare, Castlereagh, Co. Roscommon
Ph: 086 2328484 E-mail: northdoon@eircom.net



Client

Bridie Finnerty

Title

Plans

Scale: **1:100 UNLESS NOTED**

Drawn: **MARTIN DOON**

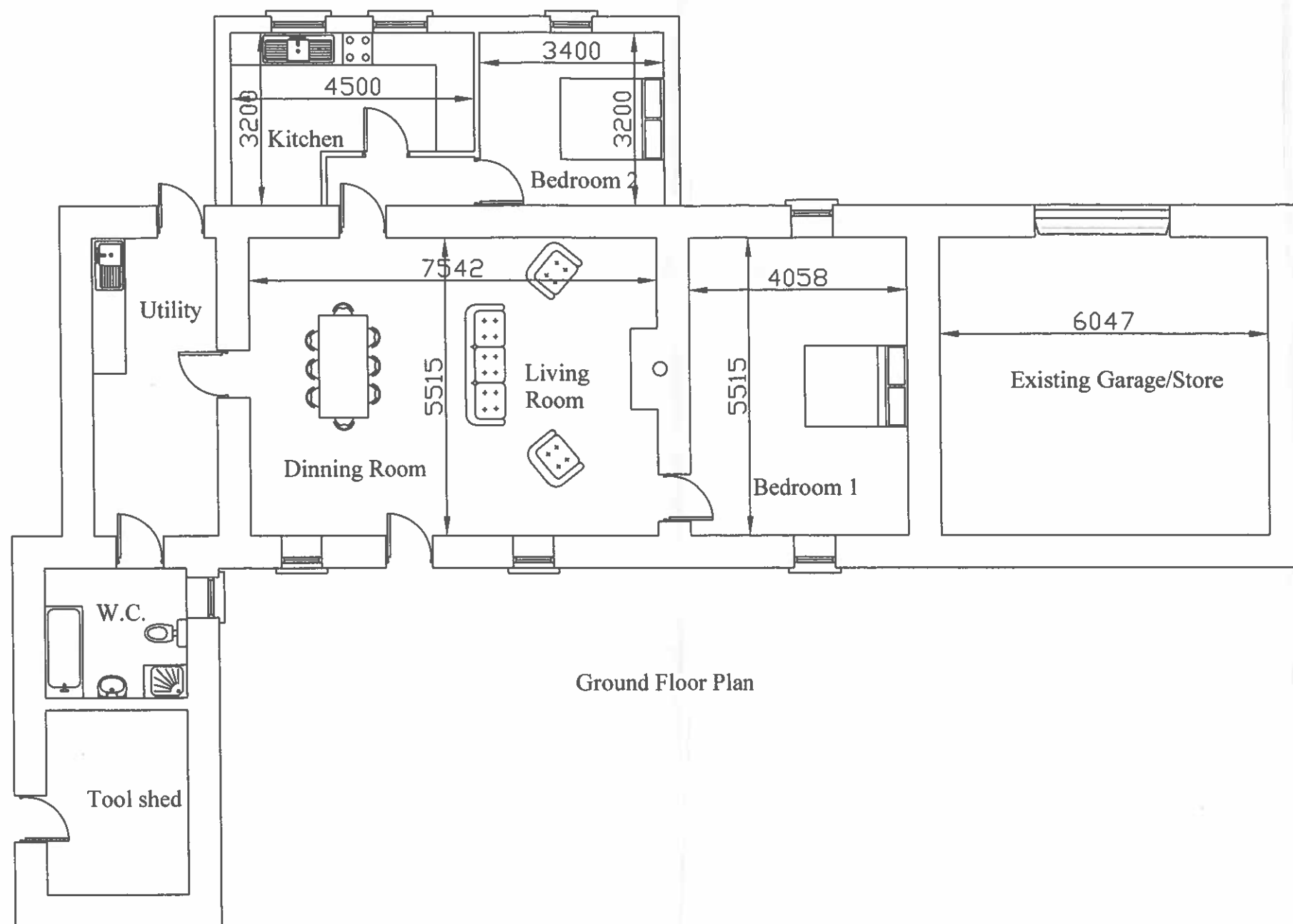
Date: **28-01-2021**

Sheet

1 OF 2

Drawg. No.

21-113



RATHCROGHAN DESIGN

Ballyconboy, Ballinagare, Castlerea, Co. Roscommon
Ph: 086 2328484 E-mail: rathcrogan@eircom.net



Client

Bridie Finnerty

Title

Plans

Scale: **AS SHOWN UNLESS NOTED**

Drawn: **MARTIN DOWD**

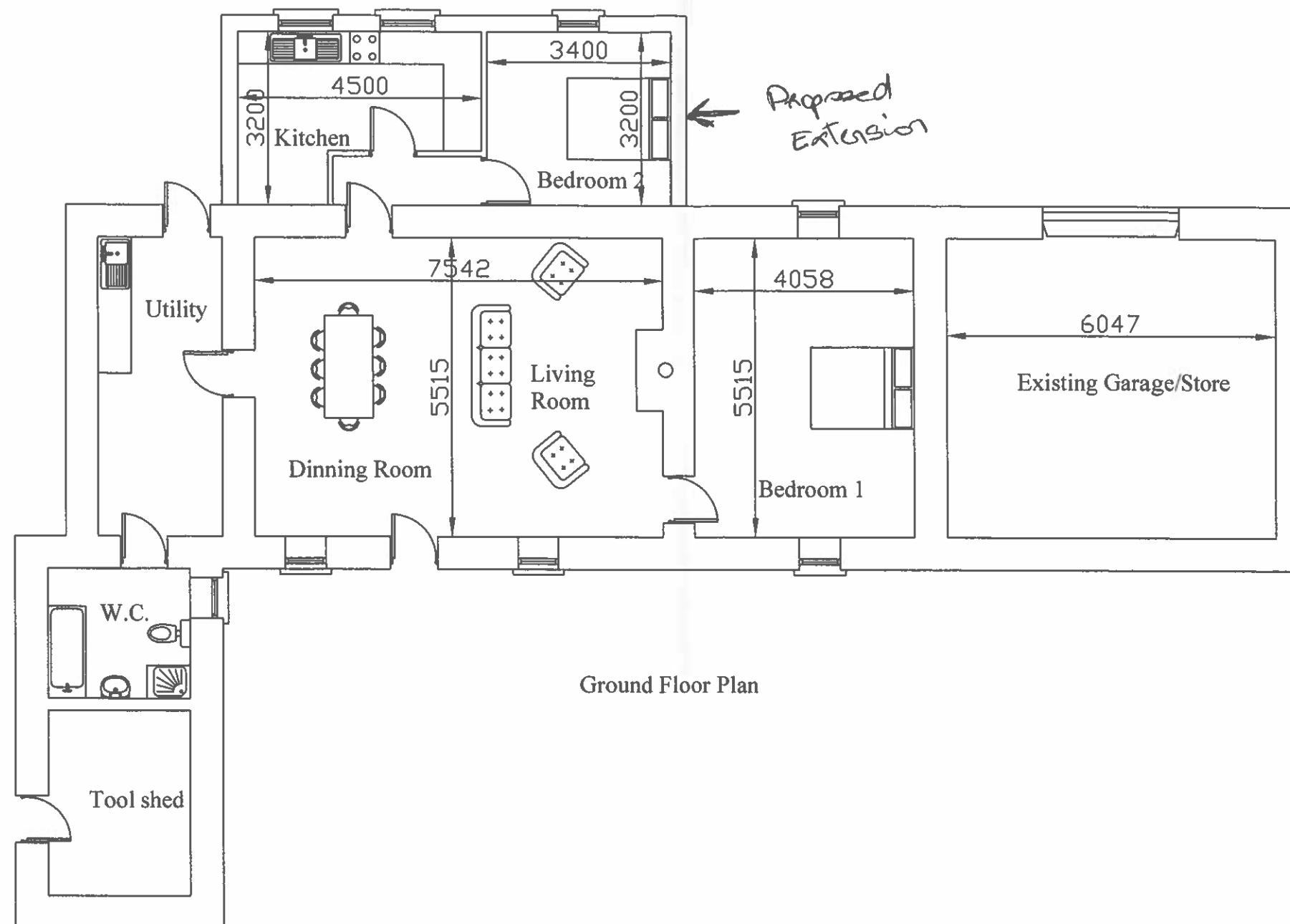
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1 OF 2

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21-113



RATHCROGHAN DESIGN

Ballyconboy, Ballinagare, Costiereva, Co. Roscommon
Ph: 086 2328484 E-mail: northindland@eircom.net



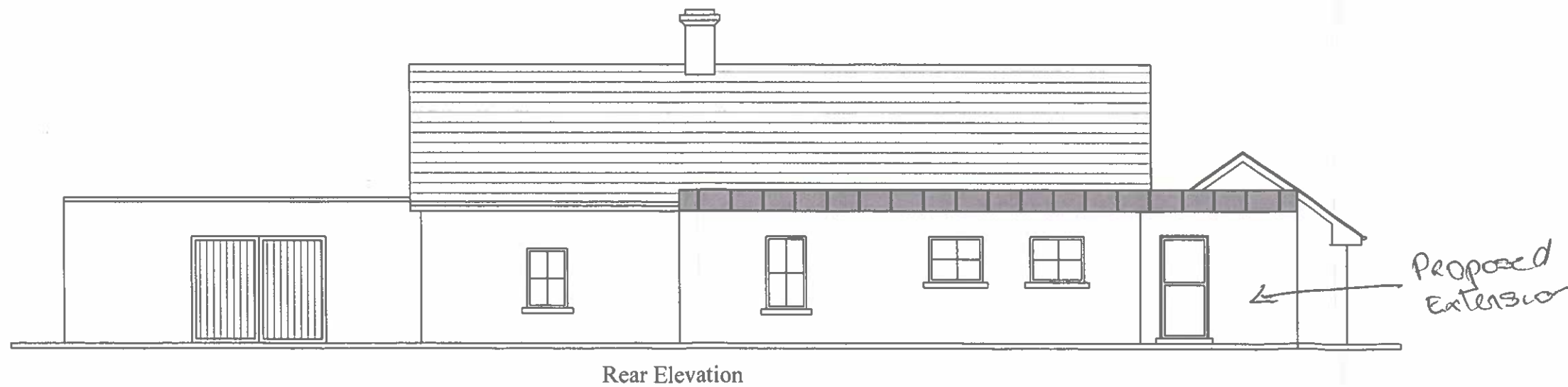
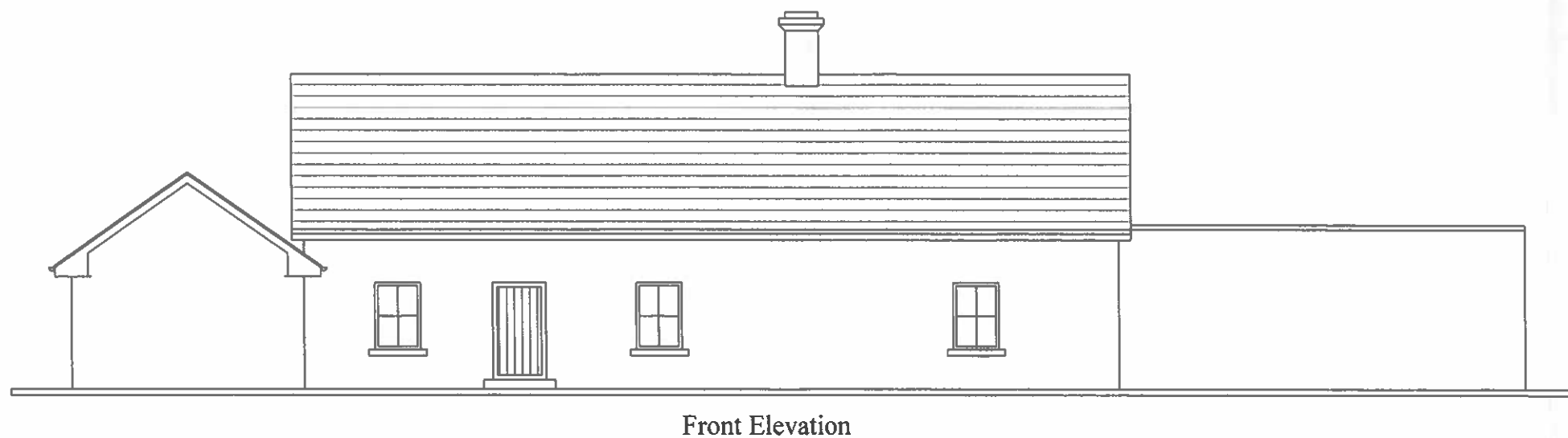
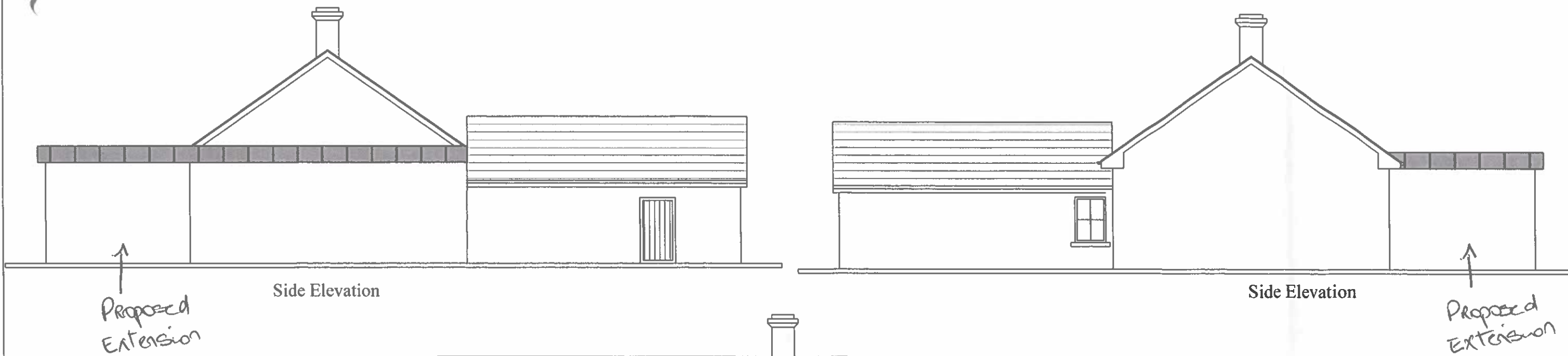
Client
Bridie Finnerty

Title
Plans

Scale: **1:100 UNLESS NOTED**
Drawn: **MARTIN DUNN**
Date: **28-01-2021**

Sheet
1 OF 2

Drawg. No.
21-113



RATHCROGHAN DESIGN

Ballycanboy, Ballinagare, Castlerea, Co. Roscommon
Ph: 086 2328484 E-mail: martin.david@eircom.net



Client

Bridie Finnerty

Title

Plans

Scale: **NOT UNLESS NOTED**

Drawn: **MARTIN DAVID**

Date: **28-01-2021**

Sheet

1 OF 2

Draw. No.

21-113