

ROSCOMMON COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (as amended)

SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

NOTIFICATION OF DECISION

Emer Casey,

Reference Number: DED 572

Application Received: 12th June, 2023

Location: Cloonfower, Castlerea, Co. Roscommon.

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act 2000 (as amended)
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended)
- (c) Class 1, 6, 12, 13 and 50 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 as amended
- (d) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act 2000 (as amended)

AND WHEREAS Roscommon County Council has concluded that:

- (i) Works to refurbish existing dwelling house
 - Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing.
 - Roof to be removed and replace with similar blue/black slate.
 - Reinstate existing chimney.
 - Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation.
 - New footpaths around the dwelling house.
 - Car parking hardstandis development and is exempted development;
- (ii) New pipework to the existing septic tank and percolation area is development and is not exempted development;

NOW THEREFORE:

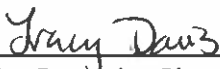
By virtue of the powers vested in me by the Local Government Acts 1925 – 2019 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared in respect of the said works at **Cloonfower, Castlerea, County Roscommon**, having regard to the definitions and exempted development provisions contained within the Planning and Development Act 2000 (as amended) and associated Regulations that the said works as detailed in (i) above **constitute development that is exempted development** and that the said works as detailed in (ii) above **constitute development that is not exempted development**

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

ADVICE NOTE

This Declaration is based on the relevant Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended) at the date of issue. In the event that the Planning and Development Act 2000 (as amended) or the Planning and Development Regulations 2001 (as amended) change prior to the works being carried out this Declaration may no longer apply.

Signed on behalf of the Council:



Senior Executive Planner,
Planning.

Date: 8th August, 2023

c.c.: APC Architects & Engineers,
Cloontrask,
Castlerea,
Co. Roscommon F45 WV81.

**Planner's Report on application under
Section 5 of the Planning and Development Act 2000 (as amended)**

Reference Number:	DED 572
Re:	Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of existing dwelling house.
Name and Address of Applicant:	Emer Casey
Location of Development:	Cloonfower, Castlerea, Co. Roscommon

1.0 Introduction

NOTE: This report has been prepared following receipt of a response to the Planning Authority's request for further information. This report should be read in conjunction with the planning officers' original report of 06th July 2023 which amongst other matters details and considers:

- Development proposal and site assessment
- Relevant statutory provisions

Further information requested: 07th July 2023

Further information response received: 21st July 2023

2.0 Planning Assessment following receipt of Further Information

Summary of issues on which further information was sought:

Item 1:

Details of the extent of the proposal to take place to the bathroom and revised proposals including existing and proposed works.

Item 2:

Clarification of proposed works to chimneys.

Item 3:

No details were specified for the footpaths and car parking hardstand area. Revised plans and particulars including site layout plan to delineate location of proposed works and material finishes to be specified.

Assessment of further information received:

Item 1:

The applicant has submitted revised plans and particulars illustrating the extent of the works proposed for the bathroom. The proposed flat roof ^{to} be finished in a grey Trocol PVC membrane and the 1.46m wall to be replaced will be finished in napp plaster to match the existing blockwork. It is considered that the works comes within the provisions of Section 4 (1) (h) of the Act, being development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures. The works proposed will match the existing and are required to make the dwelling structurally sound.

Item 2:

The chimneys are proposed to be removed and rebuilt to be in compliance with current building regulations and will match the existing chimneys in design and material finishes. The works comes within the provisions of Section 4 (1) (h) of the Act.

Item 3:

New footpaths are proposed to the east, west and north elevations of the house, 1-metre-wide concrete paths and the car parking hard stand area to be resurfaced with stone mastic asphalt. It is considered that these work fall under Class 6 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (as amended) and therefore are exempted development.

Environmental Considerations:

The subject site is located c. 280m from Drumalough Bog SAC (site code: 002338). It was considered that there is a requirement to screen for an Appropriate Assessment. A screening has been carried out and is attached to the file. Following an assessment of the proposed development and any potential relationships with European Sites, it is concluded that either alone or in combination with other plans or projects, there would be no likely significant effects on any European Sites.

Having regard to the above, I am satisfied that the general question raised in this referral can be determined as follows:

1. The works to refurbish existing dwelling house- including the following works, as set out below:
 - a. Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing.
 - b. Roof to be removed and replace with similar blue/ black slate.
 - c. Reinstate existing chimney.
 - d. Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation.
 - e. New footpaths around the dwelling house.
 - f. Car parking hardstand.

is development and is exempted development.

2. New pipework to the existing septic tank and percolation area is **development**, and is **NOT** exempted development.

Recommendation

WHEREAS a question has arisen as to whether a proposed development for the refurbishment of existing dwelling house at Cloonfower, Castlerea, Co. Roscommon is or is not development and is or is not exempted development, I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Acts 2000, (as amended).
- (b) Article 6 of the Planning and Development Regulations 2001, (as amended).
- (c) Class 1,6,12,13,50 of Part 1 of Schedule 2 of the Planning and Development Regulations, 2001 (as amended).

~~(d) Article 9 of the Planning and Development Regulations 2001, (as amended).~~

- (d) The record forwarded to Roscommon County Council in accordance with subsection (6) (c) of Section 5 of the Planning and Development Act 2000, (as amended).

AND WHEREAS I have concluded that

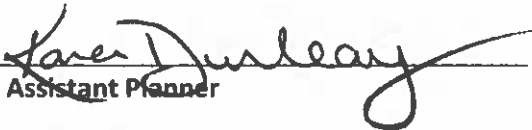
1. The works to refurbish existing dwelling house- including the following works, as set out below:
 - a. Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing.
 - b. Roof to be removed and replace with similar blue/ black slate.
 - c. Reinstate existing chimney.
 - d. Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation.
 - e. New footpaths around the dwelling house.
 - f. Car parking hardstand.

is development and is exempted development.

2. New pipework to the existing septic tank and percolation area is **development, and is NOT exempted development.**

and I recommend that a declaration to that effect should be issued to the applicant.

Signed


Assistant Planner

Date: 04th August 2023

**APPROPRIATE ASSESSMENT
SCREENING REPORT
For
Planning Application DED 572**

Development: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of existing dwelling house.



**Comhairle Contae
Ros Comáin**
Roscommon
County Council

A handwritten signature in blue ink, appearing to be 'J.M.', is located below the Roscommon County Council text.

Screening for Appropriate Assessment: DED 572**Table 1: Project Details**

Development Consent Type	Declaration of Exempted Development
Development Location	Cloonfower Td. ,Castlerea, Co. Roscommon
File Reference Number	DED 572
Description of the Project	<p>Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of existing dwelling house. (for the interests of clarity the works listed under the DED include:</p> <ul style="list-style-type: none"> • Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing. • Roof to be removed and replace with similar blue/ black slate. • Reinstate existing chimney. • Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation. • New footpaths around the dwelling house. • Car parking hardstand.

Table 2: Identification of Natura 2000 Sites (SACs and SPAs) which may be impacted by the proposed development

Please answer the following questions in order to determine whether there are any Natura 2000 sites which could potentially be impacted by the proposed development.

Special Areas of Conservation (SAC)**Impacts on habitats**

1.	Impacts on Freshwater Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats, or in the catchment of same?</p> <p>Sites to consider <u>Errit Lough SAC</u> (Site Code: 000607) Distance from Site: 5.1km Designated features: Hard oligo-mesotrophic waters with benthic vegetation of Chara spp. (#3140)</p> <p><u>Urlaur Lakes SAC</u> (Site Code: 001571) Distance from Site: 8.3 km Designated features: Hard oligo-</p>	<p>No</p> <p>No significant impact on these Natura 2000 sites are likely</p>

	<p>mesotrophic waters with benthic vegetation of Chara spp. (#3140)</p> <p>Coolcam Turlough SAC (Site Code: 000218) Distance from Site: 11.5 km Designated features: Turloughs (#3180)</p> <p>Croaghill Turlough SAC (Site Code: 000255) Distance from Site: 12.02 km Designated features: Turloughs (#3180)</p> <p>Lough Corrib SAC (Site Code: 000297) Distance from Site: 13.18 km Designated features: Oligotrophic waters containing very few minerals of sandy plains (Littorelletalia uniflorae) (#3110), Hard oligo-mesotrophic waters with benthic vegetation of Chara spp. (#3140), Water courses of plain to montane levels with the Ranunculion fluitantis and Callitricho-Batrachion vegetation (#3260)</p> <p>Williamstown Turloughs SAC (Site Code: 002296) Distance from Site: 13.88 km Designated features: Turloughs (#3180)</p>	
2.	Impacts on Bog Mires and Fens Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Bog Mires and Fens habitats, or within 1km of same?</p> <p>Sites to consider Drumalough Bog SAC (Site Code: 002338) Distance from Site: 0.02 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p> <p>Carrowbehy/Caher Bog SAC (Site Code:</p>	<p>Yes</p> <p>It is considered there could be a potential impact on this site as a result of the location of the proposed development adjacent to the designated area. <i>However, there is no likelihood of significant effects, and no adverse impacts to site integrity are predicted</i> due to the limited scale of development and qualifying interests.</p>

<p>000597) Distance from Site: 1.5 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely.</p>
<p><u>Cloonchambers Bog SAC</u> (Site Code: 000600) Distance from Site: 2.8 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely</p>
<p><u>Derrinea Bog SAC</u> (Site Code: 000604) Distance from Site: 6.0 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely</p>
<p><u>Corliskea/Trien/Cloonfelliv Bog SAC</u> (Site Code: 002110) Distance from Site: 8.86 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely</p>
<p><u>Bellanagare Bog SAC</u> (Site Code: 000592) Distance from Site: 9.84 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely</p>
<p><u>River Moy SAC</u> (Site Code: 002298) Distance from Site: 10.82 km Designated features: Depressions on peat substrates of the Rhynchosporion (#7150), Alkaline fens (#7230), Active raised bogs (#7110), Degraded raised bogs still</p>	<p>No significant impact on this Natura 2000 site is likely</p>

	<p>capable of natural regeneration (#7120)</p> <p><u>Tullaghanrock Bog SAC</u> (Site Code: 002354) Distance from Site: 13.16 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p> <p><u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150), Calcareous fens with <i>Cladium mariscus</i> and species of the <i>Caricion davallianae</i> (#7210), Petrifying springs with tufa formation (Cratoneurion) (#7220), Alkaline fens (#7230)</p> <p><u>Callow Bog SAC</u> (Site Code: 000595) Distance from Site: 13.23 km Designated features: Active raised bogs (#7110), Degraded raised bogs still capable of natural regeneration (#7120), Depressions on peat substrates of the Rhynchosporion (#7150)</p>	<p>No significant impact on this Natura 2000 site is likely</p> <p>No significant impact on this Natura 2000 site is likely</p> <p>No significant impact on this Natura 2000 site is likely</p>
3.	Impacts on Forests Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Forests habitats, or within 1km of same?</p> <p>Sites to consider <u>Corliskea/Trien/Cloonfellov Bog SAC</u> (Site Code: 002110) Distance from Site: 8.86 km Designated features: Bog woodland (#91D0)</p>	<p>No.</p> <p>No significant impact on these Natura 2000 sites are likely</p>

	<p><u>River Moy SAC</u> (Site Code: 002298) Distance from Site: 10.82 km Designated features: Old sessile oak woods with Ilex and Blechnum in the British Isles (#91A0), Alluvial forests with Alnus glutinosa and Fraxinus excelsior (Alno-Padion, Alnion incanae, Salicion albae) (#91E0)</p> <p><u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Old sessile oak woods with Ilex and Blechnum in the British Isles (#91A0), Bog woodland (#91D0)</p>	
4.	Impacts on Grasslands Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Grasslands habitats, or within 1km of same?</p> <p>Sites to consider <u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Semi-natural dry grasslands and scrubland facies on calcareous substrates (Festuco-Brometalia) (* important orchid sites) (#6210), Molinia meadows on calcareous, peaty or clayey-silt-laden soils (Molinion caeruleae) (#6410)</p>	<p>No</p> <p>No significant impact on these Natura 2000 sites are likely</p>
5.	Impacts on Heath and Scrub Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Heath and Scrub habitats, or within 1km of same?</p> <p>Sites to consider</p>	N/A.

	None	
6.	Impacts on Rocky Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Rocky habitats, or within 1km of same?</p> <p>Sites to consider Lough Corrib SAC (Site Code: 000297) Distance from Site: 13.18 km Designated features: Limestone pavements (#8240)</p>	<p>No</p> <p>No significant impact on this Natura 2000 sites are likely</p>
7.	Impacts on Dunes Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Dunes habitats, or within 1km of same?</p> <p>Sites to consider None</p>	N/A.
8.	Impacts on Coastal Habitats	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Coastal habitats, or within 1km of same?</p> <p>Sites to consider None</p>	N/A.

Impacts on Species

1.	Impacts on Amphibians	Likely Effects (direct, indirect or cumulative)
	Is the development within a Special Area of Conservation whose qualifying interests	N/A.

	<p>include Amphibians, or in the catchment of same?</p> <p>Sites to consider None</p>	
2.	Impacts on Anthropods	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Anthropods or within 1km of same?</p> <p>Sites to consider <u>Carrowbehy/Caher Bog SAC</u> (Site Code: 000597) Distance from Site: 1.5 km Designated features: Euphydryas aurinia (Marsh Fritillary) (#1065)</p> <p><u>Cloonchambers Bog SAC</u> (Site Code: 000600) Distance from Site: 2.8km Designated features: Euphydryas aurinia (Marsh Fritillary) (#1065)</p> <p><u>Bellanagare Bog SAC</u> (Site Code: 000592) Distance from Site: 9.84 km Designated features: Euphydryas aurinia (Marsh Fritillary) (#1065)</p> <p><u>River Moy SAC</u> (Site Code: 002298) Distance from Site: 10.82 km Designated features: Austropotamobius pallipes (White-clawed Crayfish) (#1092)</p> <p><u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Austropotamobius pallipes (White-clawed Crayfish) (#1092)</p> <p><u>Callow Bog SAC</u> (Site Code: 000595) Distance from Site: 13.23 km Designated features: Euphydryas aurinia (Marsh Fritillary) (#1065)</p>	<p>No.</p> <p>No significant impact on these Natura 2000 sites are likely</p>

3.	Impacts on Fish	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Fish, or within 1km of same?</p> <p>Sites to consider <u>River Moy SAC</u> (Site Code: 002298) Distance from Site: 10.82 km Designated features: Petromyzon marinus (Sea Lamprey) (#1095), Lampetra planeri (Brook Lamprey) (#1096), Salmo salar (Salmon) (#1106)</p> <p><u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Petromyzon marinus (Sea Lamprey) (#1095), Lampetra planeri (Brook Lamprey) (#1096), Salmo salar (Salmon) (#1106)</p>	<p>No.</p> <p>No significant impact on these Natura 2000 sites are likely</p>
4.	Impacts on Mammals	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Mammals, or within 1km of same?</p> <p>Sites to consider <u>River Moy SAC</u> (Site Code: 002298) Distance from Site: 10.82 km Designated features: Lutra lutra (Otter) (#1355)</p> <p><u>Lough Corrib SAC</u> (Site Code: 000297) Distance from Site: 13.18 km Designated features: Rhinolophus hipposideros (Lesser Horseshoe Bat) (#1303), Lutra lutra (Otter) (#1355)</p>	<p>No.</p> <p>No significant impact on these Natura 2000 sites are likely</p>

5.	Impacts on Molluscs	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Molluscs, or within 1km of same?</p> <p>Sites to consider Lough Corrib SAC (Site Code: 000297) Distance from Site: 13.18 km Designated features: Margaritifera margaritifera (Freshwater Pearl Mussel) (#1029)</p>	<p>No.</p> <p>No significant impact on this Natura 2000 sites are likely</p>
6.	Impacts on Non-vascular Plants	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Non-vascular plants, or within 1km of same?</p> <p>Sites to consider Lough Corrib SAC (Site Code: 000297) Distance from Site: 13.18 km Designated features: Drepanocladus vernicosus (Slender Green Feather-moss) (#1393)</p>	<p>No.</p> <p>No significant impact on this Natura 2000 sites are likely</p>
7.	Impacts on Reptiles	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Area of Conservation whose qualifying interests include Reptiles, or within 1km of same?</p> <p>Sites to consider None</p>	N/A.
8.	Impacts on Vascular Plants	Likely Effects (direct, indirect or cumulative)

	<p>Is the development within a Special Area of Conservation whose qualifying interests include Vascular Plants, or within 1km of same?</p> <p>Sites to consider Lough Corrib SAC (Site Code: 000297) Distance from Site: 13.18 km Designated features: <i>Najas flexilis</i> (Slender Naiad) (#1833)</p>	<p>No.</p> <p>No significant impact on this Natura 2000 sites are likely</p>
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Special Protection Areas (SPA):

1.	Impacts on Birds	Likely Effects (direct, indirect or cumulative)
	<p>Is the development within a Special Protection Area, or within 1km of same?</p> <p>Sites to consider Bellanagare Bog SPA (Site Code: 004105) Distance from Site: 9.92 km Designated features: Greenland White-fronted Goose (<i>Anser albifrons flavirostris</i>) (#A395)</p>	<p>No.</p> <p>No significant impact on this Natura 2000 sites are likely</p>

All designated sites within a 15km radius of the subject site have been considered in this screening for Appropriate Assessment.

Conclusion Table 2: If the answer to all of these questions is no, significant impacts can be ruled out for Natura 2000 sites. No further assessment is required; proceed to the Habitats Directive Conclusion Statement.

Screening for Appropriate Assessment - Conclusion Statement

Development Type: Declaration of Exempted Development
Development Location: Cloonfower Td. ,Castlerea, Co. Roscommon

<p>Natura 2000 sites within impact zone: SPA:004105, SAC:002354, SAC:002338, SAC:002298, SAC:002296, SAC:002110, SAC:001571, SAC:000607, SAC:000604, SAC:000600, SAC:000597, SAC:000595, SAC:000592, SAC:000297, SAC:000255, SAC:000218</p>
<p>Planning File Reference Number: DED 572</p>
<p>Description of the Project: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of existing dwelling house.</p> <p>Describe how the project or plan (alone or in combination) could affect Natura 2000 sites(s): There is no likelihood of significant effects and no adverse impacts to site integrity are predicted, due to the nature of the works proposed and the separation distances between the site and Natura 2000 Sites.</p>
<p>If there are potential negative impacts, explain whether you consider if these are likely to be significant, and if not, why not: There is no likelihood of significant effects and no adverse impacts to site integrity are predicted, due to the nature of the works proposed. It is not considered that there will be any loss of habitat within any European Sites, nor any loss of any qualifying Annex 1 habitat Outside designated sites.</p>
<p>Conclusion of Screening Assessment: Following an assessment of the proposed development and any potential relationships with European Sites, it is concluded that either alone or in combination with other plans or projects, there would be no likely significant effects on any European Sites.</p>
<p>Documentation reviewed for making this statement: Roscommon County Development Plan 2022 – 2028, Documentation submitted with the planning application National parks and wildlife website.</p>
<p>Completed by: Karen Dunleavy, Assistant Planner</p>
<p>Date: 04th August 2023</p>

Signed: Karen Durlay

Date: 04th August 2023

Signed: Larry Davis

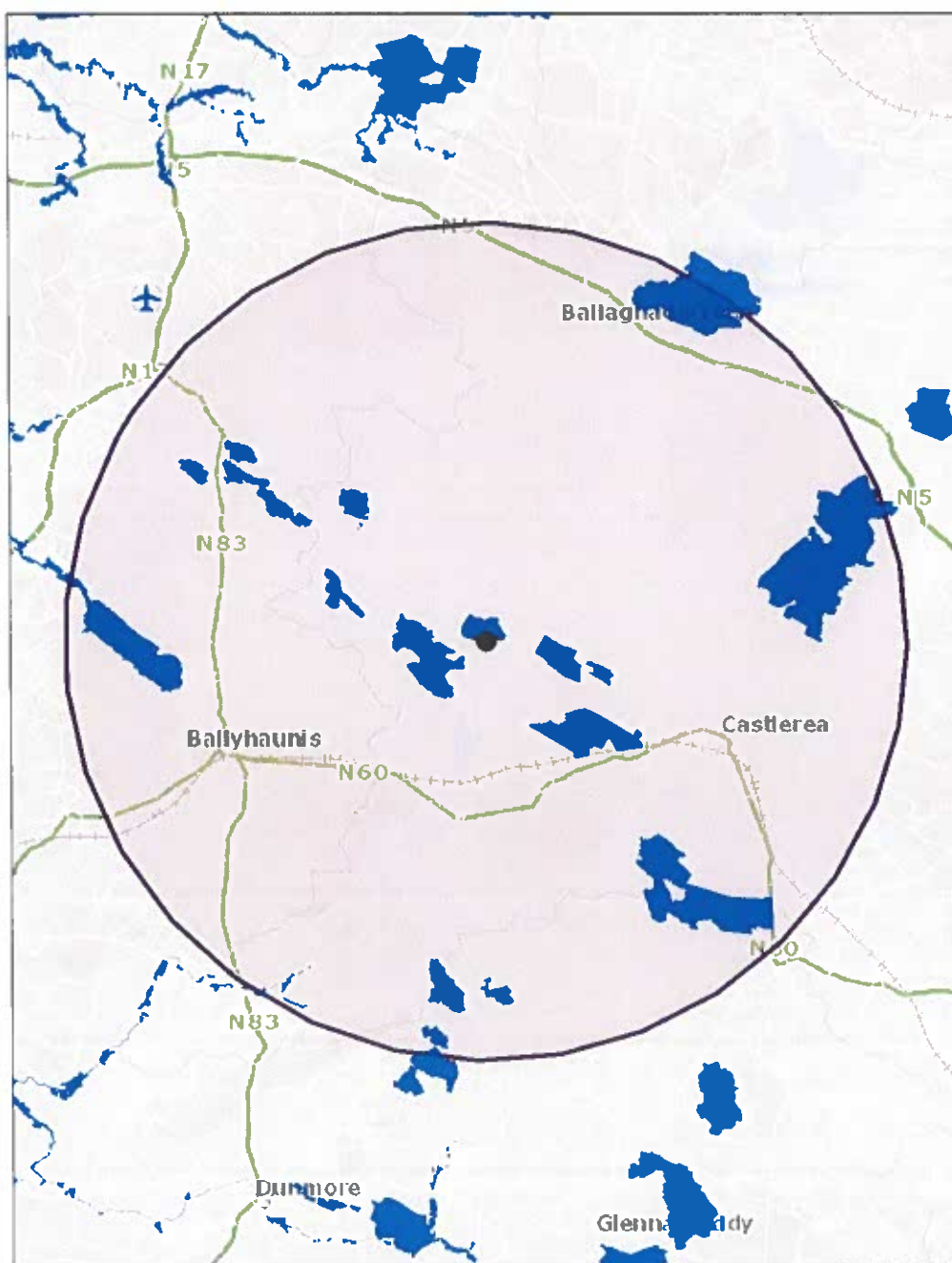
Date: 14/8/2023

~~Mary Giller~~

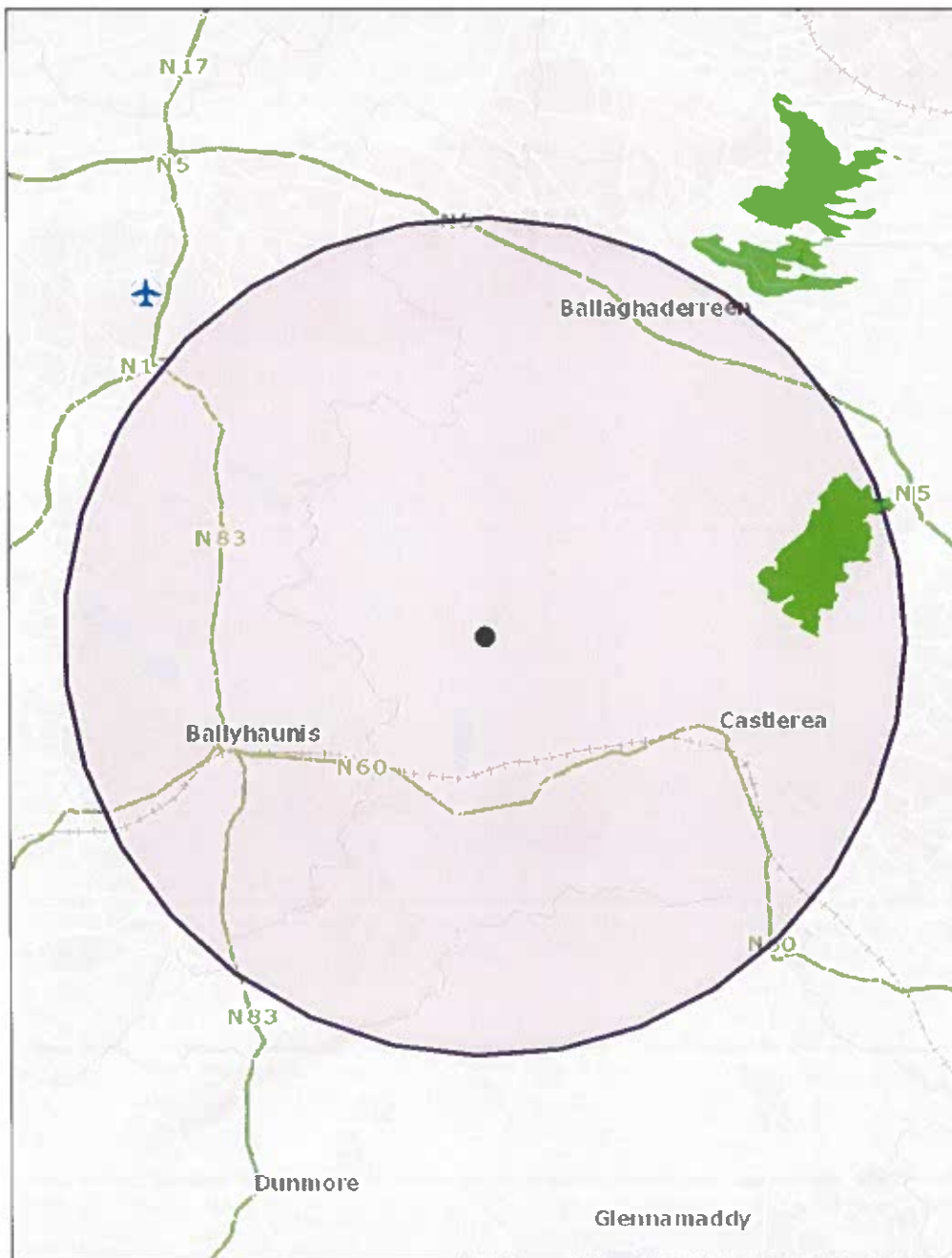
Senior Planner

Executive Planner

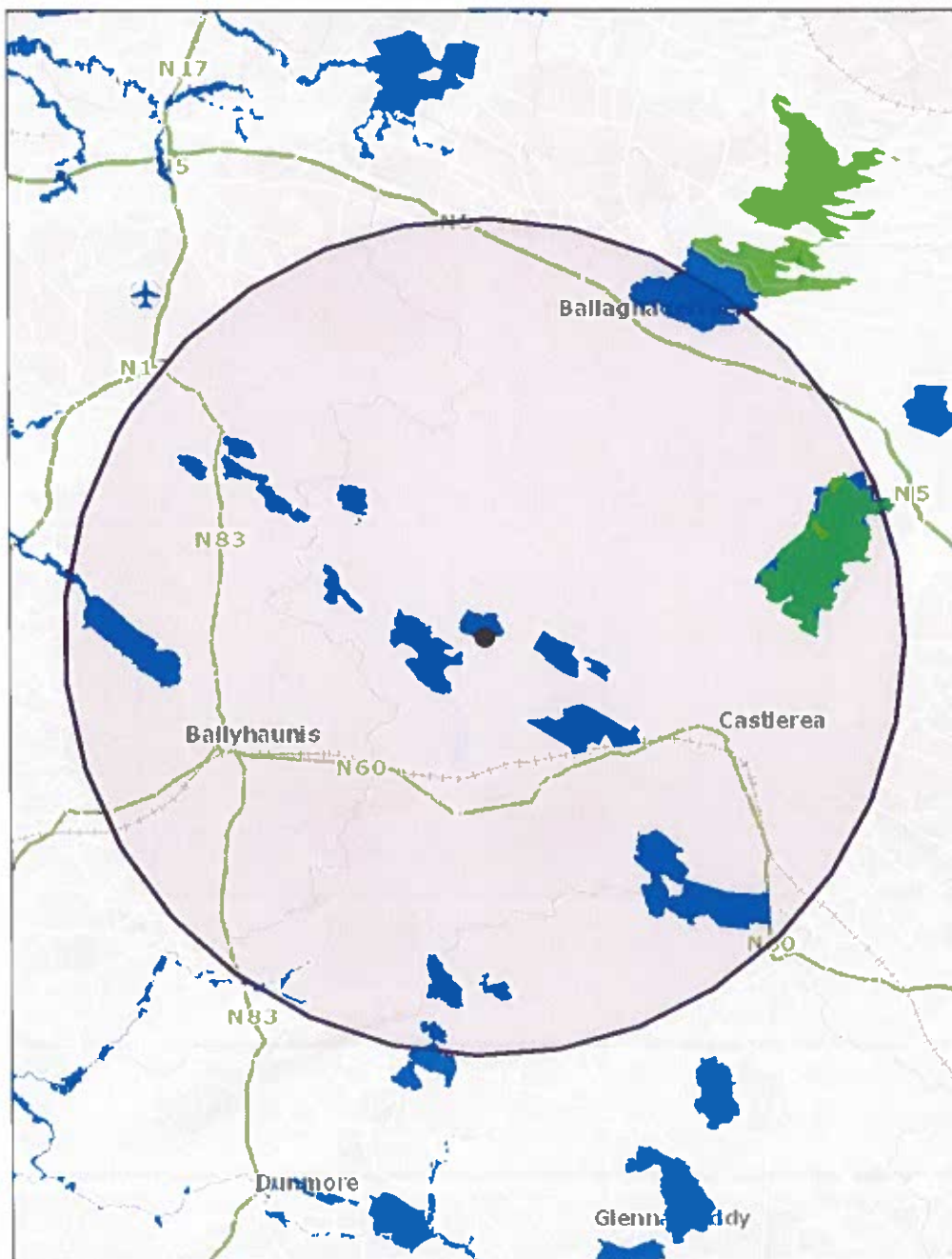
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SAC (blue) within 15km of Plan Ref. DED572



SPA (green) within 15km of Plan Ref. DED572



SAC & SPA within 15km of Plan Ref. DED572

**Emer Casey**
[Redacted]APK ref:
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Date:**Ec21SM
DED 572
EC
19/07/2023****RE: DED 572****Declaration under Section 5 Exempted Development for house at Cloonfower Castlerea Co Roscommon, F45 E771**

See below clarification of proposed works to above property that are subject to this application.

See attached existing building drawing 07/00 scale and 07/00b Proposed building drawings scale 1/100.

The Existing bathroom has two defective walls . The south wall is 3.2 meters long and is 2.4 meters high, this wall is cracked at 1.0 meters above ground level. The east wall 2.5 meters long and is 2.4 meters' this wall is cracked at 1.0 meters above ground level. The works proposed to be carried out on these walls are to take down the defective blockwork to the 1.0 meters above ground level and rebuild the walls exactly as they were before . The rebuilt blockwork walls with insulation and Nap plaster finish to walls same as existing wall finish will have.

The bathroom flat roof is to be replaced with new Flat roof construction. Proposed roof is Trocal pvc roofing membrane grey in colour same as existing roof finish laid on new flat roof rigid insulation on structural timber to current building regulations . U value 0.13 W/m2k

Main roof slates and felt to be removed and replaced with similar slate blue black in colour

Existing defective chimney with nap plaster finish to be removed and rebuilt to current building regulations. The new chimney will be same dimensions as existing chimney with same simple concrete cap and plain flue. The finish of the chimney will be same nap plaster finish as existing Chimney.

Existing defective internal concrete floors to be removed and reinstalled with dampproofing and insulation to current building regulations. U value 0.13 W/m2k



External Works.

1. New footpaths to east, west and north elevations of house. 1 meter wide concrete footpaths are proposed. See attached site layout 07/01 scale 1/500. Proposed footpaths highlighted in green
2. Existing stone finished car parking hardstand to be resurfaced with Stone Mastic Asphalt . all surface water to be piped to soakpit on site See attached site layout 07/01 scale 1/500. Car parking hardstand highlighted in Magenta

yours sincerely,

Adam Dybkowski

A r c h i t e c t

8.0 APPENDICES

- Photographic evidence of structural defects

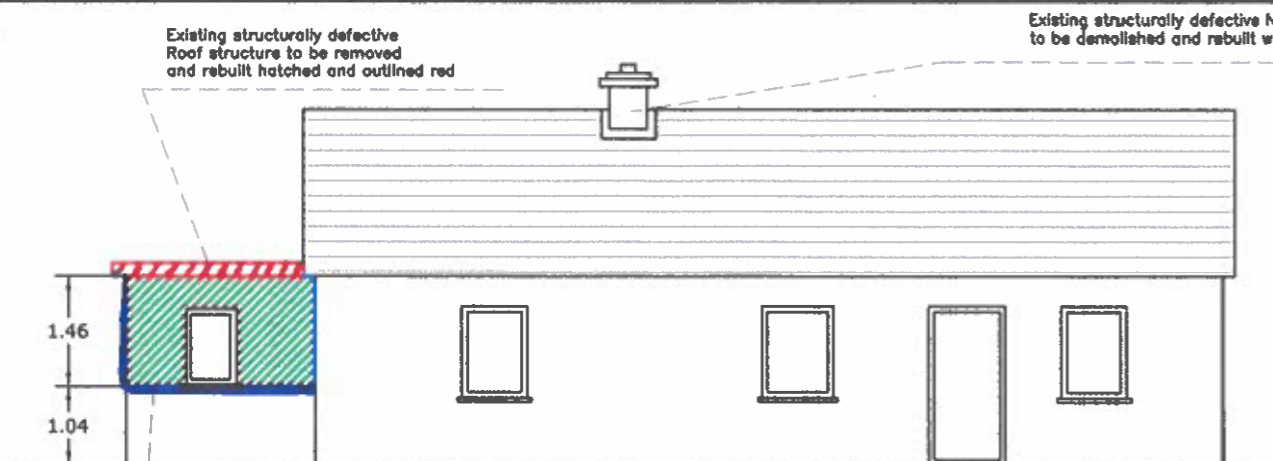
Bathroom south elevation wall cracked at 1.0 meters above ground level



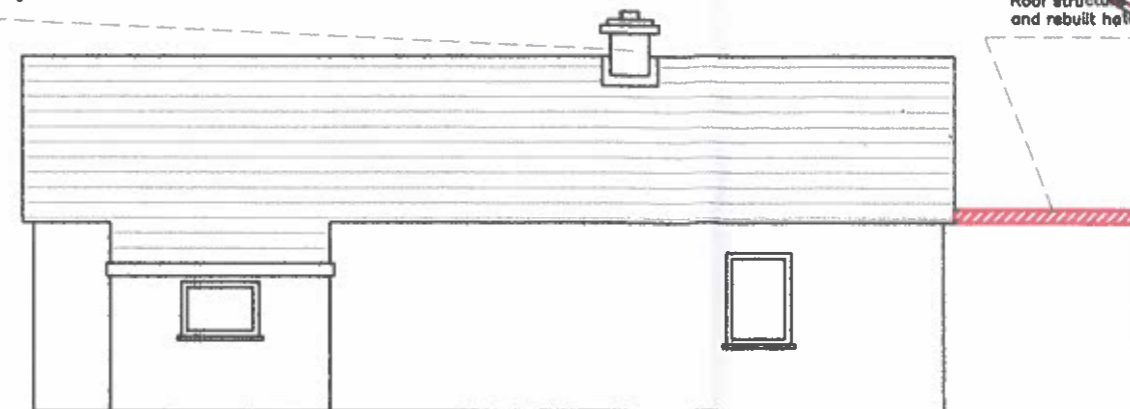
Bathroom east elevation wall cracked at 1.0 meters above ground level



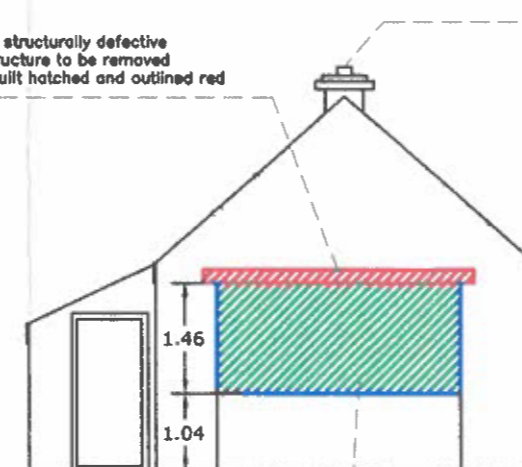
This Drawing Is For
Planning Application Only



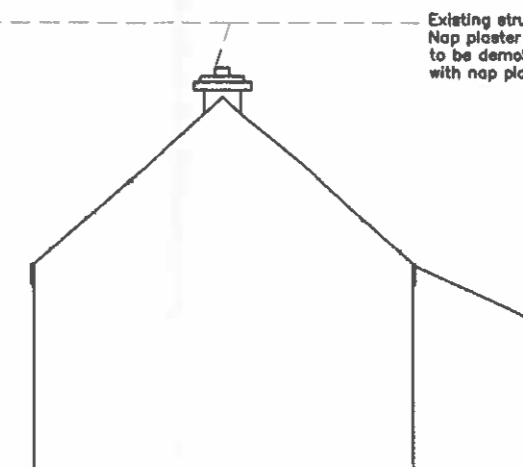
FRONT ELEVATION SCALE 1 : 100



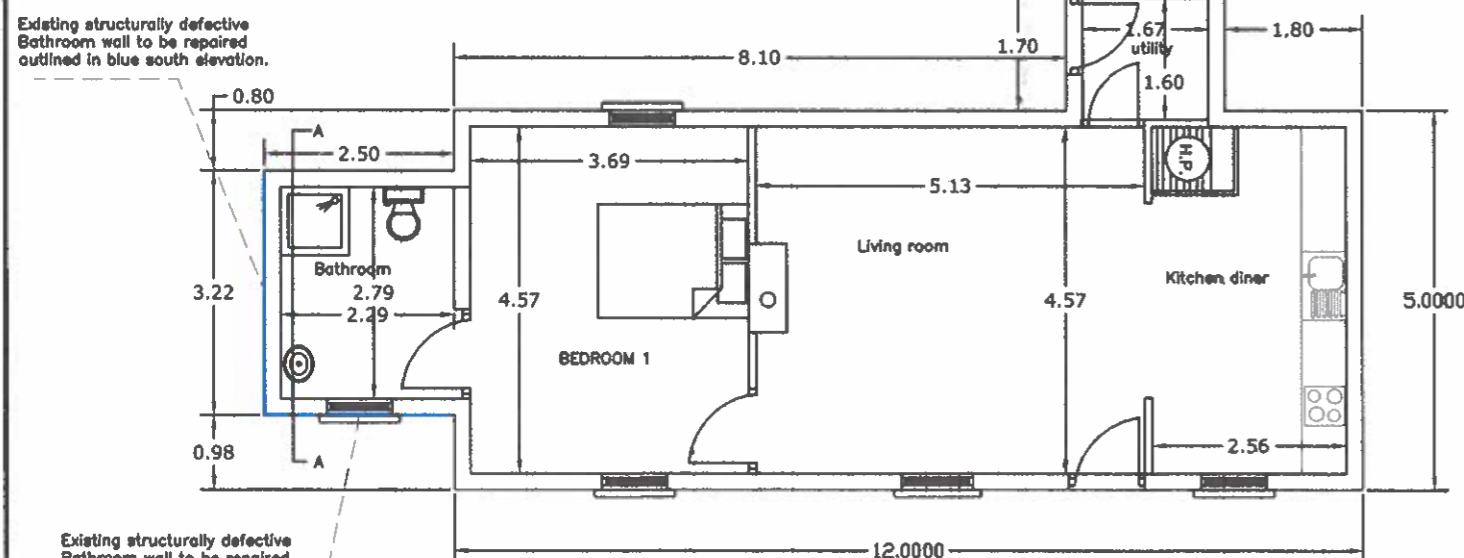
Rear ELEVATION SCALE 1 : 100



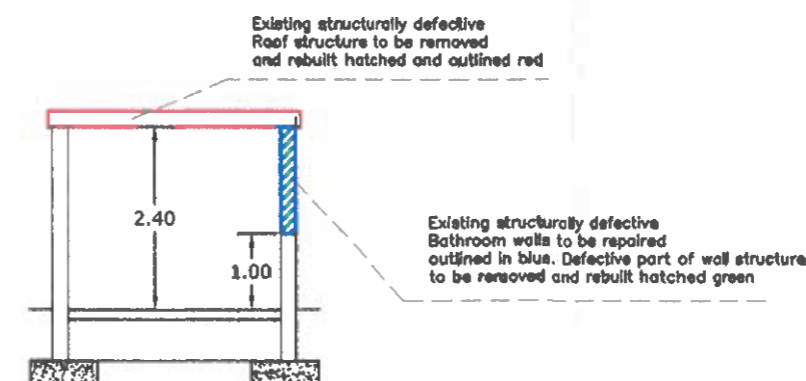
South ELEVATION
SCALE 1 : 100



North ELEVATION
SCALE 1 : 100



FLOOR PLAN 1 : 100 floor area 63 m2



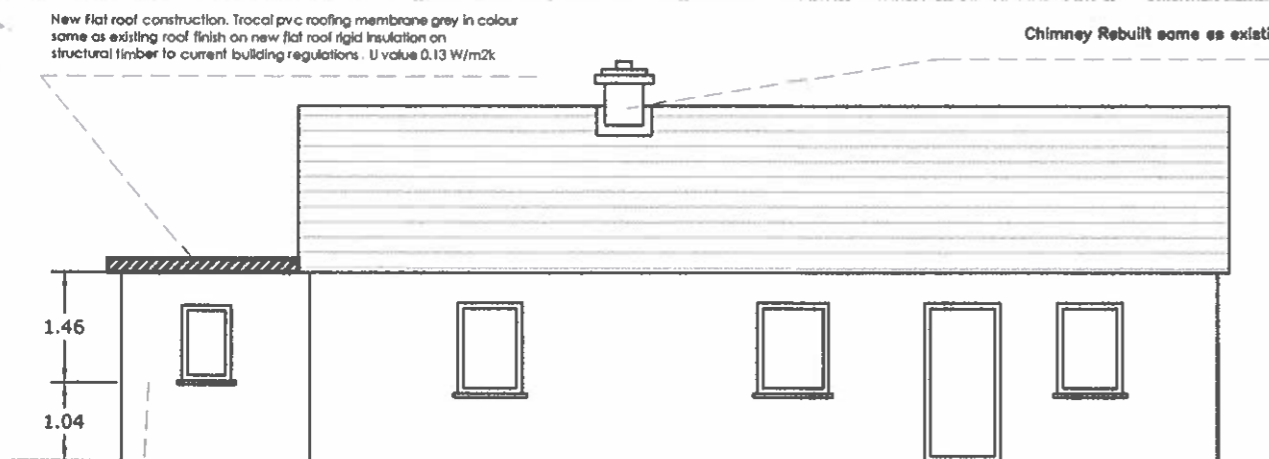
CROSS SECTION A-A
SCALE 1 : 100

Client : Emer Casey

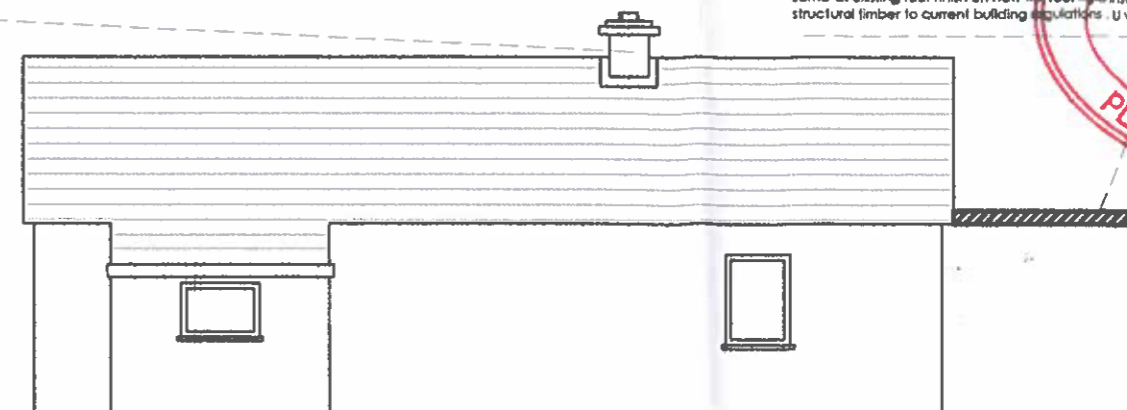
Drawn by : Adam Dybkowski
APC Architects & Engineers Ltd.
Cloontra, Co. Roscommon.

Title : Existing Plans,
Elevations and section
House @ Cloontra,
Co. Roscommon.

Scale : 1/100
Date : 20/07/2023
Drawing No : 07/00



FRONT ELEVATION SCALE 1 : 100

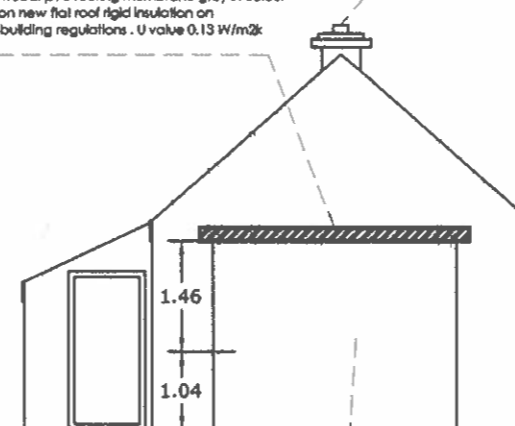


REAR ELEVATION SCALE 1 : 100

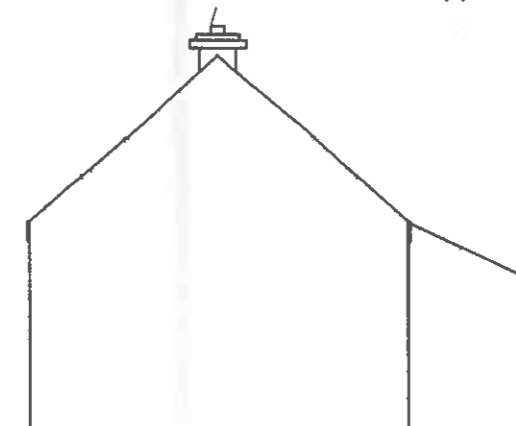
Proposed nap plaster finish to repaired wall to match existing house. 215 block construction with internal insulation to achieve 0.19w/m2k

New Flat roof construction. Tarmac pvc roofing membrane grey in colour same as existing roof finish on new flat roof rigid insulation on structural timber to current building regulations. U value 0.13 W/m2k

Chimney Rebuilt same as existing chimney. Nap plaster finish



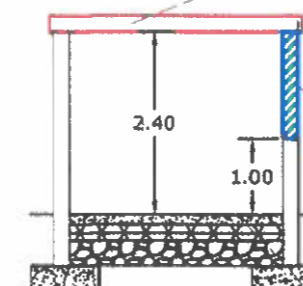
SOUTH ELEVATION SCALE 1 : 100



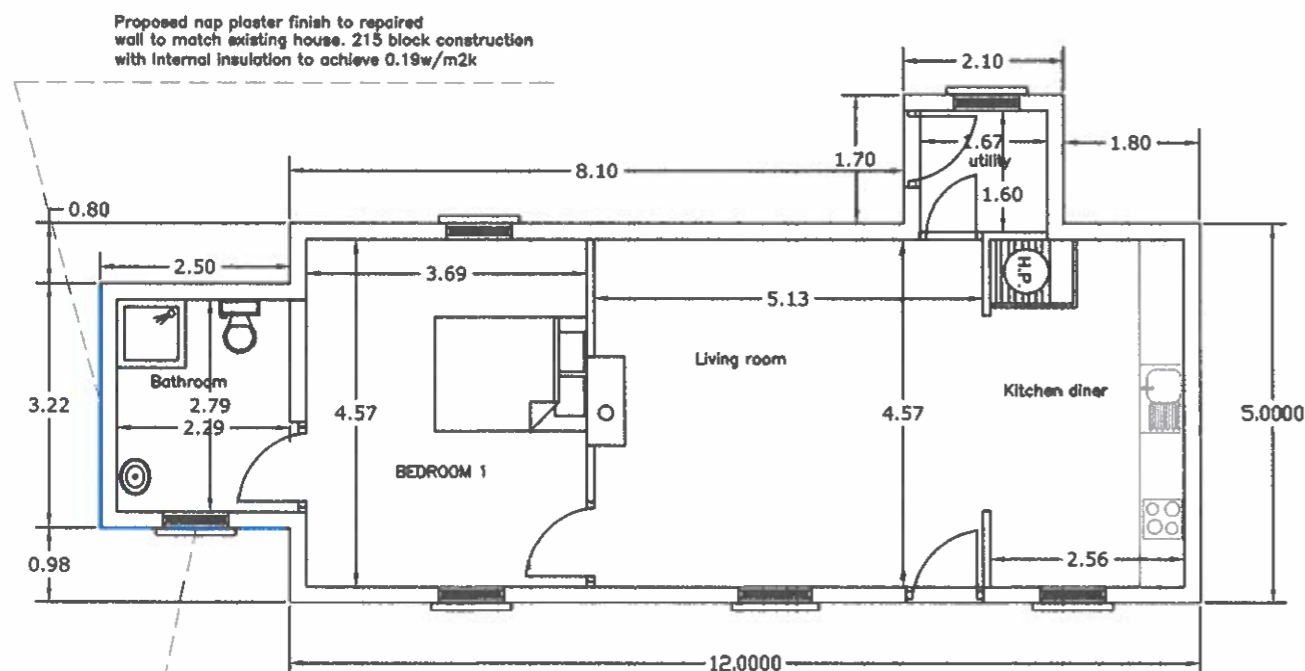
NORTH ELEVATION SCALE 1 : 100

Proposed nap plaster finish to repaired wall to match existing house. 215 block construction with internal insulation to achieve 0.19w/m2k

New Flat roof construction. Tarmac pvc roofing membrane grey in colour same as existing roof finish on new flat roof rigid insulation on structural timber to current building regulations. U value 0.13 W/m2k



CROSS SECTION SCALE 1 : 100



FLOOR PLAN 1 : 100 floor area 63 m2

Proposed nap plaster finish to repaired wall to match existing house. 215 block construction with internal insulation to achieve 0.19w/m2k

Client : Emer Casey

Drawn by : Adam Dybkowski
APC Architects & Engineers Ltd.
Cloontarck,
Castlerea,
Co. Roscommon.

Title : Proposed Plans,
Elevations and section
House @ Cloontarck,
Castlerea,
Co. Roscommon.

Scale : 1/100
Date : 20/07/2023
Drawing No : 07/00b



Emer Casey,

Date: 07/07/2023

Planning Reference: DED 572

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: WHEREAS a question has arisen as to whether the refurbishment of existing dwelling house at Cloonfower, Castlerea, County Roscommon is or is not development or is or is not exempted development.

A Chara,

Further to your application received on the 12th June, 2023 and in order for the Planning Authority to determine as to whether works a question has arisen as to whether the refurbishment of existing dwelling house at Cloonfower, Castlerea, County Roscommon is or is not development or is or is not exempted development you are requested to submit the following further information:

1. In relation to the repair and replacement works proposed to take place to existing bathroom, it is unclear what the extent of the proposal is, and if there are demolition works proposed to take place. Please clarify the exact extent of works and clearly delineate on plans and particulars (please include existing and proposed plans and elevations which clearly demarcate any demolition works proposed).
2. In the cover letter it is stated that the chimney is proposed to be removed and reinstated, however on the elevational drawings submitted it is illustrated "structurally defective chimney to be made good". Please clarify the works required and details of proposed design of chimney including external material finishes to be used.
3. It is noted that the new footpaths and car parking hard stand area are proposed, no details have been submitted. Please submit revised plans and particulars including a site layout plan to the appropriate scale which clearly illustrate location and material finishes of car parking hardstand and footpaths.

Consideration of your application is being deferred pending compliance with this request for further information. When replying please quote Planning Reference Number **DED 572**.

Note: Replies to this communication must be by way of original documents.

Mise le meas,



**Senior Executive Planner,
Planning.**

CC: APC Architects & Engineers,
Cloontrask,
Castlerea,
Co. Roscommon F45 WV81

**Planner's Report on application under Section 5 of the
Planning and Development Act 2000 (as amended)**

Reference Number: DED 572

Name and Address of Applicant: Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of existing dwelling house at Cloonfower, Castlerea, Co. Roscommon

Applicant: Emer Casey

Date: 06th July 2023

Site Location & Development Description

The subject site is located on the southern side of the L-1242-22, a local road in the townland of Cloonfower, Castlerea, Co. Roscommon. An old cottage and a number of sheds on the subject site. A question has arisen as to whether to refurbish existing dwelling at Cloonfower, Castlerea, Co. Roscommon is or is not development and is or is not exempted development.

Planning History

As per the Roscommon County Council GIS, there is no recent planning history on the subject site.

Relevant Legislation

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Class 6 of Part 1 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, (as amended)
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act 2000 (as amended)
- (d) The planning history of the site

Planning and Development Act, 2000 (as amended)

Section 2 (1)

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected

structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 (1)

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4 (2) of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

Planning and Development Regulations, 2001 (as amended)

Article 4(1)(H): The following shall be exempted developments for the purposes of this Act—*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*

Article 9 (1) applies;

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would—

viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

PART 1 - Article 6 - Exempted Development – General

Column 1 Description of Development	Column 2 Conditions and Limitations
<u>CLASS 6</u> (a) The construction of any path, drain or pond or the carrying out of any landscaping works within the curtilage of a house. (b) Any works within the curtilage of a house for—	The level of the ground shall not be altered by more than 1 metre above or below the level of the adjoining ground. Provided that the area of the hard surface is less than 25 square metres or less than 50% of the area of the garden forward of the front building line of the house, or 50% of the area of the garden to the

<p>(i) the provision to the rear of the house of a hard surface for use for any purpose incidental to the enjoyment of the house as such, or,</p> <p>(ii) the provision of a hard surface in the area of the garden forward of the front building line of the house, or in the area of the garden to the side of the side building line of the house, for purposes incidental to the enjoyment of the house as such.</p>	<p>side of the side building line of the house, as the case may be, whichever is the smaller,</p> <p>or</p> <p>if the area of the hard surface is 25 square metres or greater or comprises more than 50% of the area of the garden forward of the front building line of the house, or 50% of the area of the garden to the side of the side building line of the house, as the case may be, it shall be constructed using permeable materials or otherwise allow for rainwater to soak into the ground</p>
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Assessment

The question to be determined in this Section 5 declaration is whether 'refurbishment of existing dwelling house' is or is not development, and is or is not exempted development. Having considered the definition of both "works" and "development" outlined above, I would deem that the aforementioned forms of development constitute works and is therefore development.

The second question to be determined declaration is whether 'refurbishment of existing dwelling house' is or is not exempted development as outlined in 4 (1) (h) of the planning and development Act as amended.

There are seven elements (as set out in the cover letter accompanying this application) to the question asked under this question:

1. Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing.
2. Roof to be removed and replace with similar blue/ black slate.
3. Reinstate existing chimney.
4. Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation.
5. New footpaths around the dwelling house.
6. Car parking hardstand.
7. New pipework to the existing septic tank and percolation area.

Context and Description

An old cottage and a number of sheds on the subject site, it is evident that all structures associated with the dwelling house were built pre-1963. The refurbishment of the derelict dwelling house will be assessed under Section 4(1) (h) of the Planning and Development Act 2000 (as amended).

Each of the items will be dealt with below:

Existing bathroom defective walls and roof to be repaired/replaced with the same materials to match the existing; it is proposed to repair and replace the walls of the existing bathroom and replace them with the same materials with insulation and napp plater to match the existing walls. A new flat roof is to be constructed over the bathroom and will be finish^{ed} with a Trocal PVC roofing membrane, a grey in colour to match the existing roof finish. It is unclear what extent of works are required to take place in order to repair and replace the walls of the existing bathroom and if any demolition works will be required to take place. In order to clarify if these works fall within the scope of Section 4(1) (h) Planning and Development Act 2000 (as amended), it is necessary request further information.

Roof to be removed and replace with similar blue/ black slate; it is proposed to replace the roof on the main dwelling house with similar blue/ black slates. The works come under the scope of Section 4(1)(h) Planning and Development Act 2000 (as amended) as the replacement of the roof is considered to be *maintenance and improvement* of a dwelling house and it is considered the works will not materially affect the external appearance as the external material finishes will match the existing roof. Therefore, it is considered this element is exempted development.

Reinstate existing chimney; it is proposed to replace the existing chimney. In order to ensure that the works come under the scope of Section 4(1) (h) Planning and Development Act 2000 (as amended), it is necessary to clarify what material finishes will be used on the new chimney. Revised plans and particulars are required.

Defective internal concrete floors to be removed and reinstalled with damp proofing and insulation; It is proposed to removal and install internal concrete floors and install damp proofing measures and insulation under Section 4(1)(h) of the Planning and Development Act 2000 (as amended), it is considered that the works are "maintenance" and are considered to be exempted development.

New footpaths around the dwelling house; No details have been submitted, further information is required in order clarify where the footpath is to be^{re d} place and this detail should be clearly detailed on site layout plan.

Car parking hardstand; it is proposed to construct hard stand area for car parking on the site, however no details have been submitted. In order to identify if the works proposed fall under Class 6 of Part 1 Article 6 Schedule 2 of the Planning and Development Regulations, 2001, (as amended) , further information is required in order clarify the location of the hardstand area to be delineated on revised site layout plan.

New pipework to the existing septic tank and percolation area; It is proposed to lay new pipes to connect the existing dwelling house and the existing septic tank. There are no provisions set out under the Planning and Development Act 2000 (as amended) or Planning and Development Regulations 2001 (as amended), therefore it is considered not to be exempted development and requires planning permission.

Furthermore, it should be noted no details have been submitted in relation to the adequacy of the existing wastewater treatment system on the subject site may not be adequate and it may be required to be upgraded. It is considered acceptable to advise the applicant of this in an advisory note.

Environmental Considerations:

The development is not of a nature set out in Part 2 Schedule 5 of the Planning and Development Regulations 2001 as amended. The need for environmental impact assessment can, therefore, be excluded at preliminary examination and a screening determination for EIAR is not required.

The subject site is located c. 280m from Drumalough Bog SAC (site code: 002338). A screening determination will be complete on receipt of the further information request providing for all information surrounding the proposal.

Recommendation

Requests the following further information is requested:

1. In relation to the repair and replacement works proposed to take place to existing bathroom, it is unclear what the extent of the proposal is, and if there are demolition works proposed to take place. Please clarify the exact extent of works and clearly delineate on plans and particulars (please include existing and proposed plans and elevations which clearly demarcate any demolition works proposed).
2. In the cover letter it is stated that the chimney is proposed to be removed and reinstated, however on the elevational drawings submitted it is illustrated "structurally defective chimney to be made good". Please clarify the works required and details of proposed design of chimney including external material finishes to be used.
3. It is noted that the new footpaths and car parking hard stand area are proposed, no details have been submitted. Please submit revised plans and particulars including a site layout plan to the appropriate scale which clearly illustrates location and material finishes of car parking hardstand and footpaths.

Signed: 
Assistant Planner

Date: 06th July 2023

DED572

Site inspection 03rd July 2023



DED572

Site inspection 03rd July 2023



DED572

Site inspection 03rd July 2023



DED572

Site inspection 03rd July 2023



DED572

Site inspection 03rd July 2023



DED572

Site inspection 03rd July 2023





From: Planning Department
Sent: Tuesday 13 June 2023 18:02
To: adam@apk.ie
Subject: RCC Planning Ref. No. DED 572 - Acknowledgement of Request for Declaration under Section 5 of the Planning & Development Act.
Attachments: DED 572 Acknowledgement to Agent.pdf; DED 572 RECEIPT.pdf

A Chara,

Please find attached, letter of acknowledgement in respect of your request for a declaration under Section 5 of the Planning & Development Act 2000 (as amended), reference no. DED 572.

The receipt for the fee paid has been issued by post to the applicant.

Mise le meas,

Mary Dolan, Administrative Officer, Planning,
Áras an Chontae, Roscommon, Co. Roscommon, F42 VR98.
☎ (090) 6637176 ✉ marydolan@roscommoncoco.ie
🌐 www.roscommoncoco.ie



Comhairle Contae
Ros Comáin
Roscommon
County Council



Please address all e-mail correspondence to planning@roscommoncoco.ie

Correspondence issuing from the Planning Section in Roscommon County Council will generally be in electronic form only except in instances where an e-mail address has not been provided.



Comhairle Contae
Ros Comáin
Roscommon
County Council



Ms. Emer Casey,

Date: 13th June, 2023.
Planning Reference: DED 572

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000
(as amended), regarding Exempted Development.
Development: Existing house refurbishment at Cloonfower, Castlerea, Co. Roscommon.

A Chara,

I wish to acknowledge receipt of your application received on the 12th June, 2023, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00 Receipt No. L01/0/223168 dated 12th June, 2023 refers, receipt attached herewith.

Note: Please note your Planning Reference No. is **DED 572**.

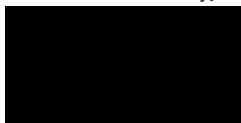
This should be quoted in all correspondence and telephone queries.

Mise le meas,

Administrative Officer,
Planning.

cc. **EMAIL**
APC Architects & Engineers,
Cloontrask,
Castlerea,
Roscommon.

Ms. Emer Casey,



COPY

Date: 13th June, 2023.

Planning Reference: DED 572

Re: Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

Development: Existing house refurbishment at Cloonfower, Castlerea, Co. Roscommon.

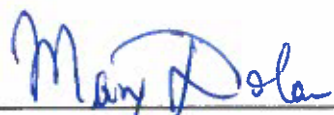
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Note: Please note your Planning Reference No. is **DED 572**.

This should be quoted in all correspondence and telephone queries.

Mise le meas,



Administrative Officer,
Planning.

cc. **EMAIL**
APC Architects & Engineers,
Cloontrask,
Castlerea,
Roscommon.

Roscommon County Council
Aras an Chontae
Roscommon
09066 37100

12/06/2023 12:26:41

Receipt No. : L01/0/223168
REPRINT

EMER CASEY

PLANNING APPLICATION FEES 80 00
GOODS 80 00
VAT Exempt/Non-vatable
DED 572

Total : 80 00 EUR

Tendered
Credit/Debit Card 80 00
8760

Change : 0 00

Issued By : Bernadine Duignan
From : Central Cash Office

DED 572



Áras an Chontae,
Roscommon,
Co. Roscommon.

Phone: (090) 6637100

Email: planning@roscommoncoco.ie

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000, regarding Exempted Development

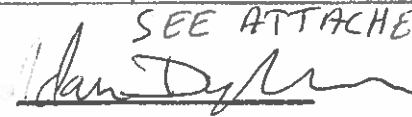
Name:	EMER CASEY
Address:	[REDACTED]
Name & Address of Agent:	APC Architects + Engineers Cloontranck, CASTLEREA Co Roscommon F45WU 81
Nature of Proposed Works	EXISTING House Refurbishment
Location (Townland & O.S No.)	CLONFOWER 2093 - 2094
Floor Area	63m ²
Height above ground level	EXISTING FFL 0.25m above road No Change
Total area of private open space remaining after completion of this development	No change to existing
Roofing Material (Slates, Tiles, other) (Specify)	Existing blue black Slate To be replaced with Same
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	No change to rap plaster finish
Is proposed works located at front/rear/side of existing house.	Existing Bathroom to be repaired See attached Drawings 07/00 + 07/01

Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,
regarding Exempted Development

Has an application been made previously for this site	No
If yes give ref. number (include full details of existing extension, if any)	N/A
Existing use of land or structure	House
Proposed use of land or structure	House
Distance of proposed building line from edge of roadway	Existing Building no change
Does the proposed development involve the provision of a piped water supply	Existing Supply on site
Does the proposed development involve the provision of sanitary facilities	EXISTING Septic tank on site with Percolation Area EN12S66-1+SR66 Compliant

Signature:

SEE ATTACHED drawings + Septic tank Details


Date:

12/06/23

Note: This application must be accompanied by:-

- (a) €80 fee ✓
- (b) Site Location map to a scale of 1:2500 clearly identifying the location ✓
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development ✓
- (d) Detailed specification of development proposed ✓



Emer Casey

APK ref:

Ec21SM

Your ref:

EC

Code:

12/06/2023

Date:

RE: Declaration under Section 5 Exempted Development for house at Cloonfower Castlereagh Co Roscommon, F45 E771

See below details of proposed works to above property that are subject to this application.

Existing bathroom defective walls and roof to be repaired / replaced with same materials. These being blockwork walls with insulation and nap plaster finish to walls same as existing wall finish. New Flat roof construction. Trocal pvc roofing membrane grey in colour same as existing roof finish on new flat roof rigid insulation on structural timber to current building regulations. U value 0.13 W/m2k

Main roof slates and felt to be removed and replaced with similar slate blue black in colour

Existing defective chimney to be removed and reinstalled with dampproofing to current building regulations.

Existing defective internal concrete floors to be removed and reinstalled with dampproofing and insulation to current building regulations. U value 0.13 W/m2k

External Works being new footpaths around house and Car parking hardstand including new pipework to existing septic tank and percolation area on site which is compliant with EN12566.1 and SR66 see attached Data sheet for same, and new pipework to existing soakpits onsite for surface water disposal to current building regulations.

See attached floor plans, elevations, and section on dwg 07/00, Site layout scale 1:500 on dwg 07/01

Site location map scale 1:2500. Details of existing septic tank installed onsite and attached photos of existing house, sheds and Existing septic tank onsite

yours sincerely,

Adam Dybkowski

Architect

Adam Dybkowski M.Sc., Eng. Arch. Reg. Architect, MRIAI

APC Architects & Engineers Limited Registered in Ireland
Company Registration Number: 699125



8.0 APPLICATIONS

- Professional Indemnity Insurance – APC Architects & Engineers Contract number B1715PFO22621 Valid from 14 09 2023 to 1 09 2023
- Photographic evidence of structural defects

Professional Indemnity Insurance Schedule

Policy Number: API0003953

Item 1 Policyholder

Apc Architects & Engineers Ltd

Address

Cloonrask Castlelea

Profession

Architect

Item 2 Policy Period

Inception Date: 03/09/2022

Expiry Date: 02/09/2023

Both days inclusive local standard time at address in Item 1

Item 3 Limit of Liability

A. € 750,000 any one Claim except however, in respect of:

B. Asbestos, the Limit of Liability is

€ 1,000,000 or 50% of the amount specified in Item 3 A, whichever is the less, both in respect of any one Claim and in the aggregate for the Policy Period

C. Pollution, the Limit of Liability is

€ 1,000,000 or 50% of the amount specified in Item 3 A, whichever is the less, both in respect of any one Claim and in the aggregate for the Policy Period

D. III. Extensions B. Lost Documents, the Limit of Liability is

€ 500,000 or 50% of the amount specified in Item 3 A, whichever is the less, both in the aggregate for the Policy Period

E. III. Extensions C. Statutory Regulation, the Limit of Liability is

€ 150,000 in the aggregate for the Policy Period or the amount applicable to II. Cover A. Professional Indemnity, whichever is less

F. III. Extensions D. Legal Representation Costs, the Limit of Liability is

€ 350,000 in the aggregate for the Policy Period or 50% of the amount specified in Item 3 A, whichever is the less, both in the aggregate for the Policy Period

Cover under II. Cover C. Defence Costs does not form part of and will not erode the Limit of Liability in respect of 3.A – 3.F. above.



CERTIFICATE OF INSURANCE

Effected through:

Arachas Corporate Brokers Limited
t/a Arachas, Capital Insurance Markets, Capital IM, Covercentre (the Coverholder).

9 Eastgate Avenue
Eastgate Business Park
Little Island
Cork
T45 YN92

Telephone: 01 213 5000
Website: www.arachas.ie

This is to Certify that, in accordance with the authorisation granted under Contract No. B1715PFDO22621 to the undersigned by certain underwriters at Lloyd's Insurance Company SA and other insurers (hereinafter referred to as the 'Insurers') whose names and the proportions underwritten by them are shown in the Schedule attached hereto, and in consideration of the premium specified herein, the said Insurers are hereby bound, each for his own part and not one for another, their Executors and Administrators, to indemnify the Insured in accordance with the terms and conditions of Insurance attached hereto.


Provided that the liability of the Insurers shall not exceed the Limit of Liability as set forth in the Schedule.

The Insured is requested to read this Certificate and if it is not correct, return it immediately to the Coverholder for appropriate alteration.

In Witness whereof, this Certificate has been signed by the Coverholder and on the date specified below.

Date: 14/09/2022


Conor Brennan
Arachas Corporate Brokers Limited


Martin Adams
Arachas Corporate Brokers Limited



PLEASE NOTE – This notice contains important information. PLEASE READ CAREFULLY

The liability of an insurer under this contract is several and not joint with other insurers party to this contract. An insurer is liable only for the proportion of liability it has underwritten. An insurer is not jointly liable for the proportion of liability underwritten by any other insurer. Nor is an insurer otherwise responsible for any liability of any other insurer that may underwrite this contract.

The proportion of liability under this contract underwritten by an insurer (or, in the case of a Lloyd's syndicate, the total of the proportions underwritten by all the members of the syndicate taken together) is shown in this contract.

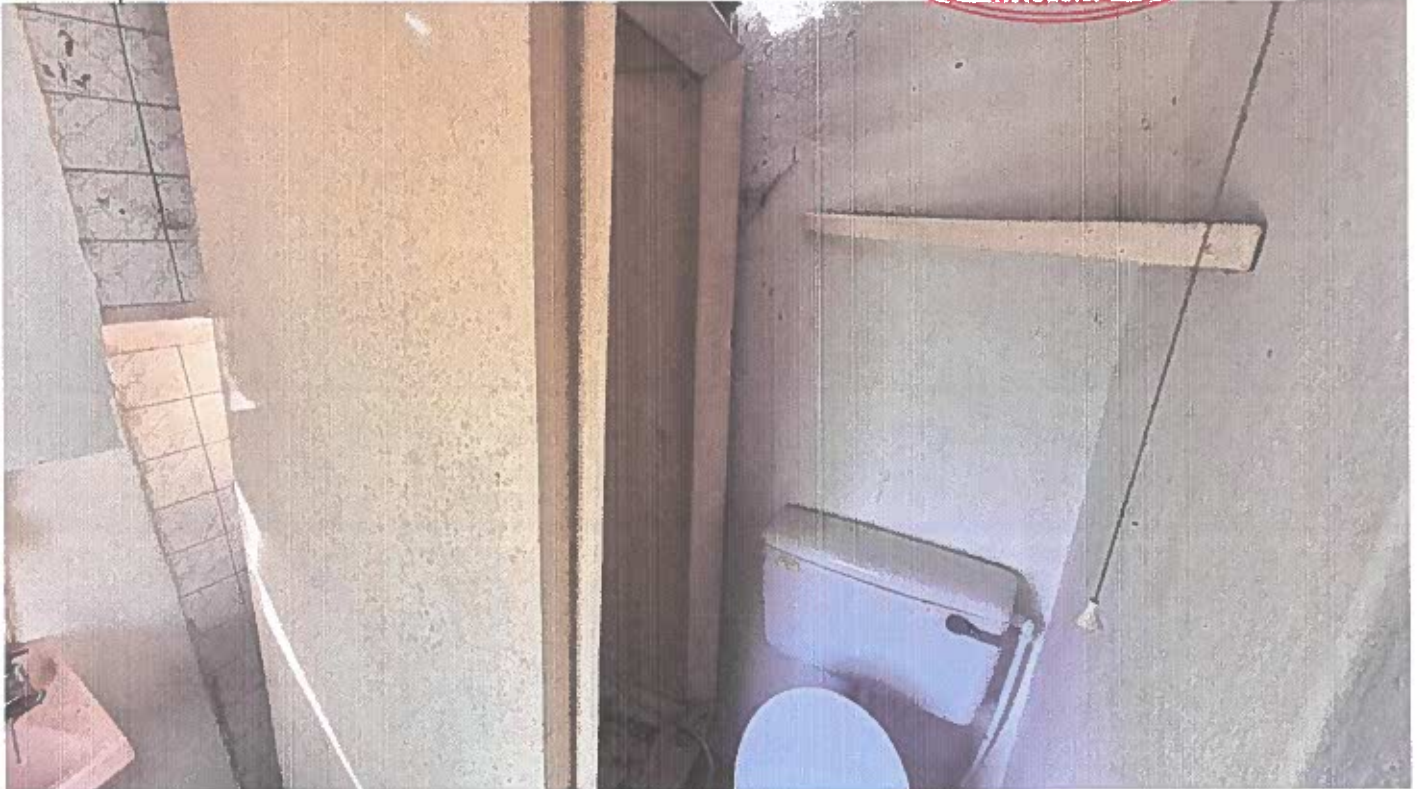
In the case of a Lloyd's syndicate, each member of the syndicate (rather than the syndicate itself) is an insurer. Each member has underwritten a proportion of the total shown for the syndicate (that total itself being the total of the proportions underwritten by all the members of the syndicate taken together). The liability of each member of the syndicate is several and not joint with other members. A member is liable only for that member's proportion. A member is not jointly liable for any other member's proportion. Nor is any member otherwise responsible for any liability of any other insurer that may underwrite this contract. The business address of each member is Lloyd's, Lloyd's Brussels, Bastion Tower, Floor 14, 5 Place du Champs de Mars, 5 Marsveldplein, 1050 Brussels. The identity of each member of a Lloyd's syndicate and their respective proportion may be obtained by writing to Market Services, Lloyd's, at the above address.

Although reference is made at various points in this clause to "this contract" in the singular, where the circumstances so require this should be read as a reference to contracts in the plural

Defective external walls and roof Bathroom



Internal photos of bathroom





Defective Chimney





Internal photos of water ingress from roof walls and floor in main bedroom





Livingroom chimney leaking



Utility





Other external elevations







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Phoenix Park,
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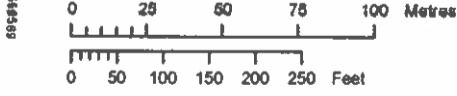
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PERFORMANCE RESULTS

Delaney Concrete Ltd.
Clonroche, Enniscorthy, Co. Wexford, Ireland

EN 12566-1
Part 1: Prefabricated septic tanks
Results corresponding to EN 12566-1 and S.R. 66

PIA-SR66-1607-1081

Delaney Concrete Septic Tank

Material	Concrete
Structural behaviour (crushing resistance)	Pass (for wet ground conditions also)
Watertightness	Pass
Nominal capacity	3 m ³
Hydraulic efficiency	99.92 % (with filter)
Durability	Pass

Performance tested by:

PIA – Prüfinstitut für Abwassertechnik GmbH
(PIA GmbH)
Hergenrather Weg 30
52074 Aachen, Germany

This document replaces neither the declaration
of performance nor the CE marking.



Notified Body
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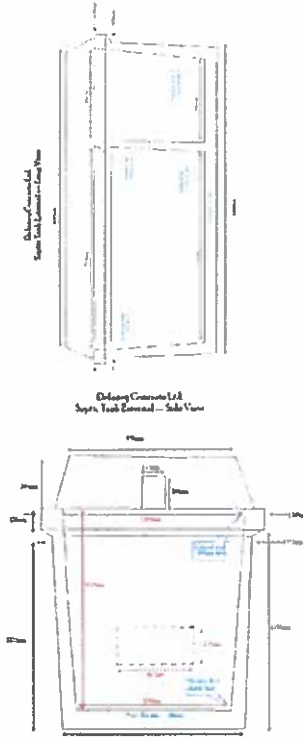
DAKKS
Deutsche
Akkreditierungsstelle
D-PL-17712-01-00

Prüfinstitut für Abwassertechnik GmbH
geprüft - tested - testé

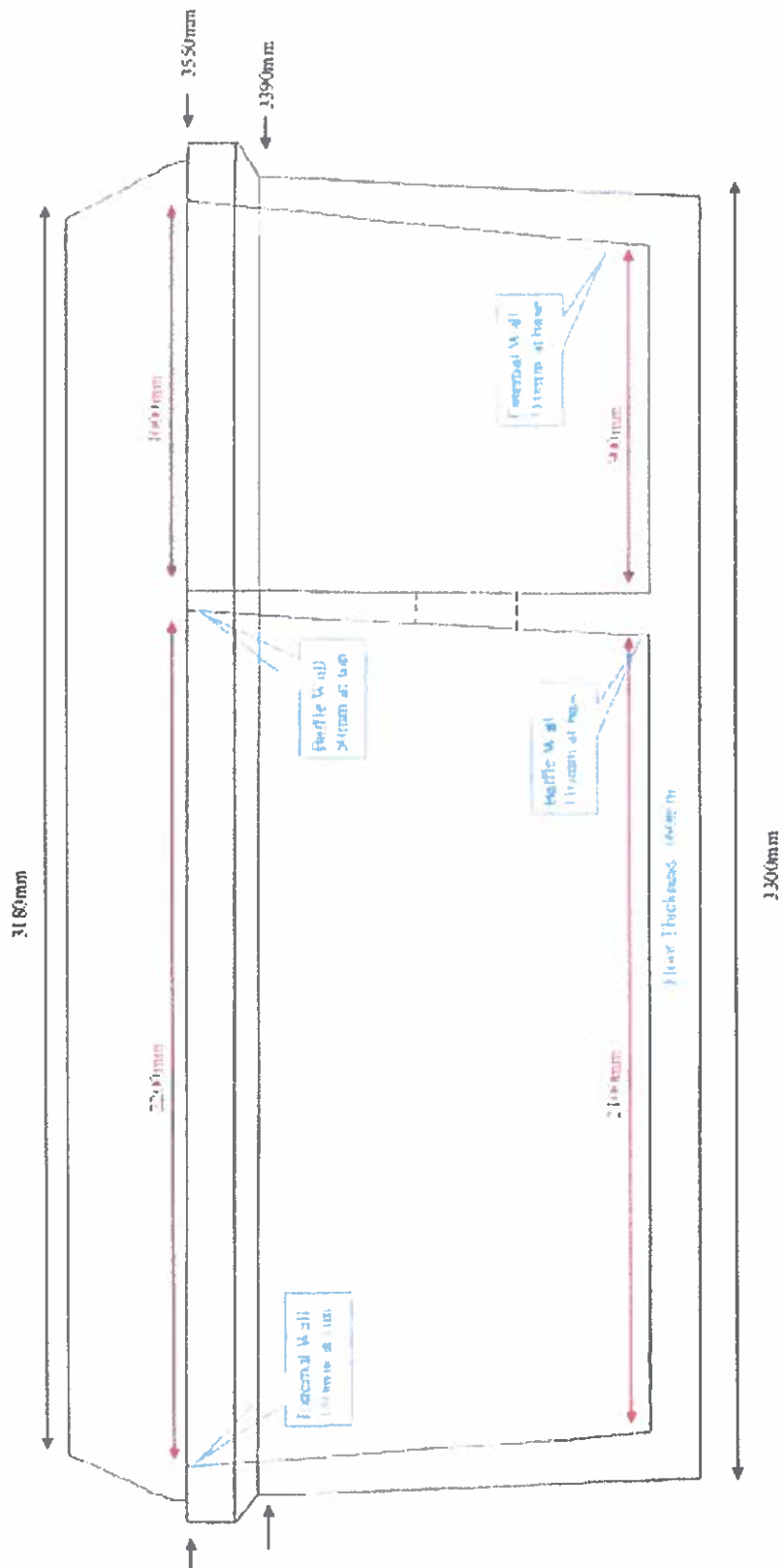
Elmar Lancé

July 2016

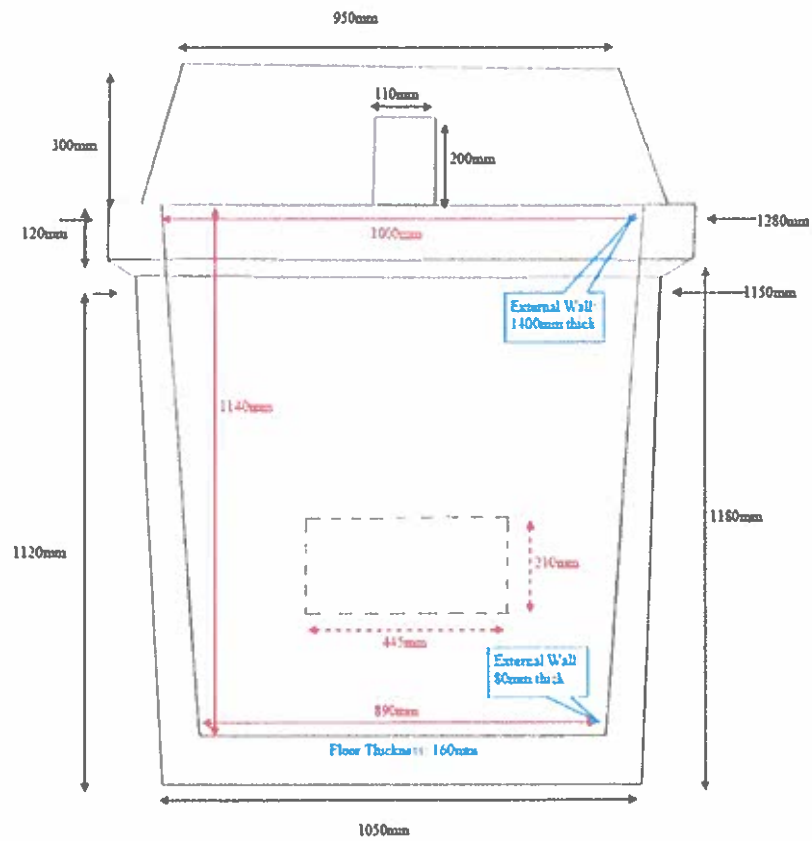
Delaney Concrete Septic Tank range and its referring test reports:

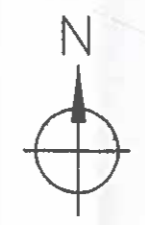
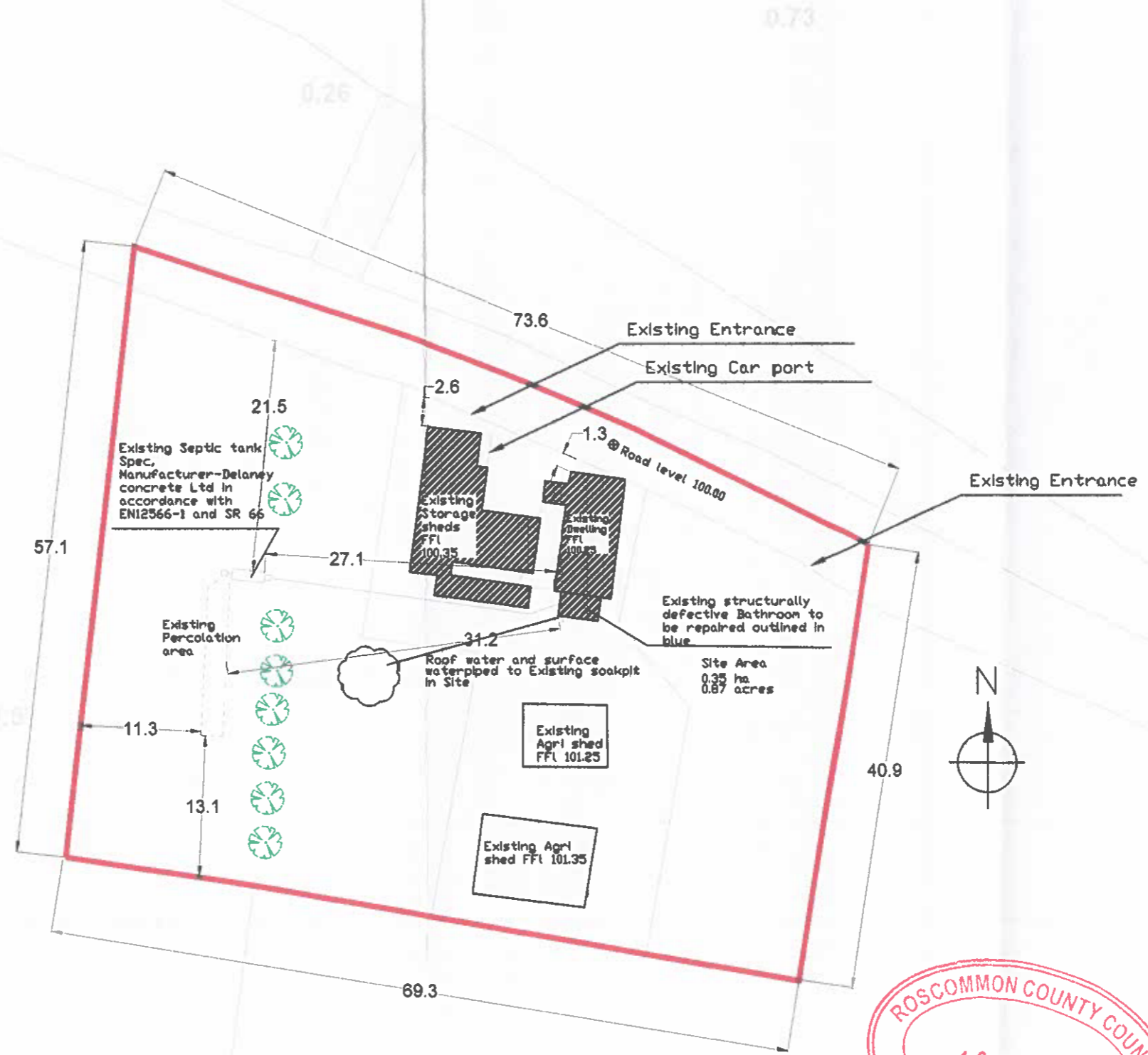
Nominal capacity Usable volume Population equivalent (PE)	Drawing of model of the range	Watertightness and Nominal Capacity (EN 12566-1 Annex A)	Hydraulic Efficiency (EN 12566-1 Annex B)	Structural Behaviour (EN 12566-1 Annex D)	Durability
3 3,245 l 8		<p>Pass</p> <p>PIA2012-WD/NC-1207-1047</p>	<p>Pass</p> <p>PIA2012-HWG-1207-1047</p>	<p>Pass</p> <p>PIA2012-ST-BT-0807-1045</p> <p>For wet ground conditions also, 2.00 m installation depth from inlet invert</p>	<p>Pass</p> <p>PIA2016-DH-1602-1015.01</p>

Delaney Concrete Ltd. Septic Tank External — Long View



DeLauey Concrete Ltd
Septic Tank External—Side View

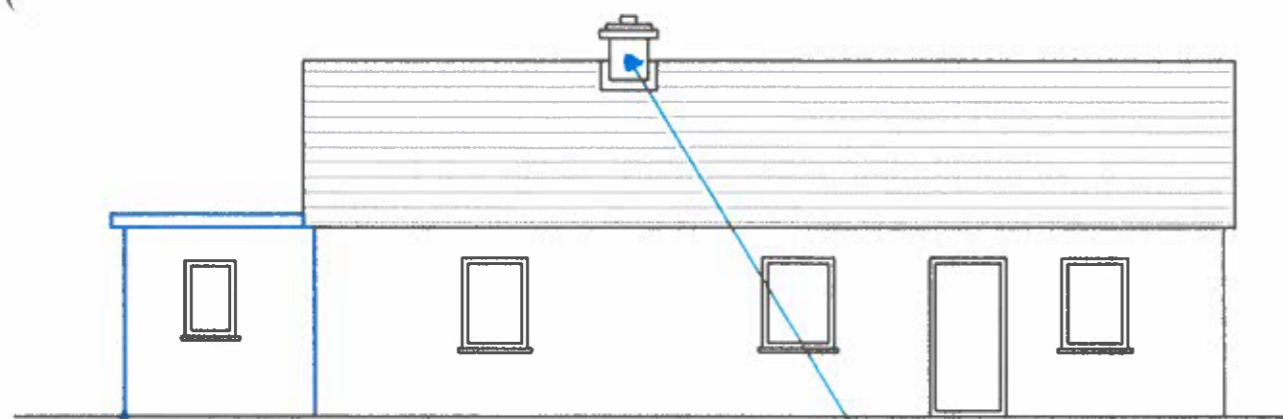




JOB: Individual Layout
 CLIENT: [Redacted]
 Location: [Redacted]

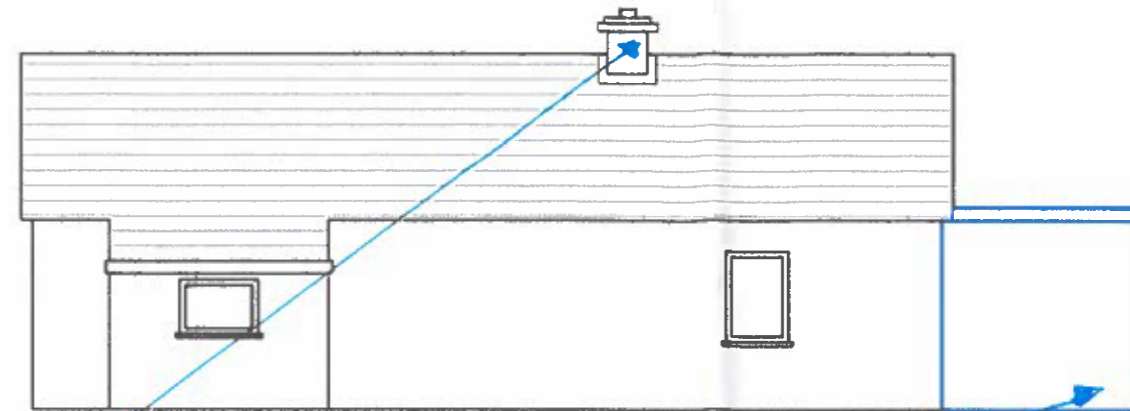
DRAWN BY: Adam O'Byrne
 APC Architects & Engineers Ltd
 Cleontrook,
 Co. Roscommon.
 SCALE: 1 : 500
 Dwg No: 07/01 Date: 09/06/23

This Drawing Is For
 Planning Application Only



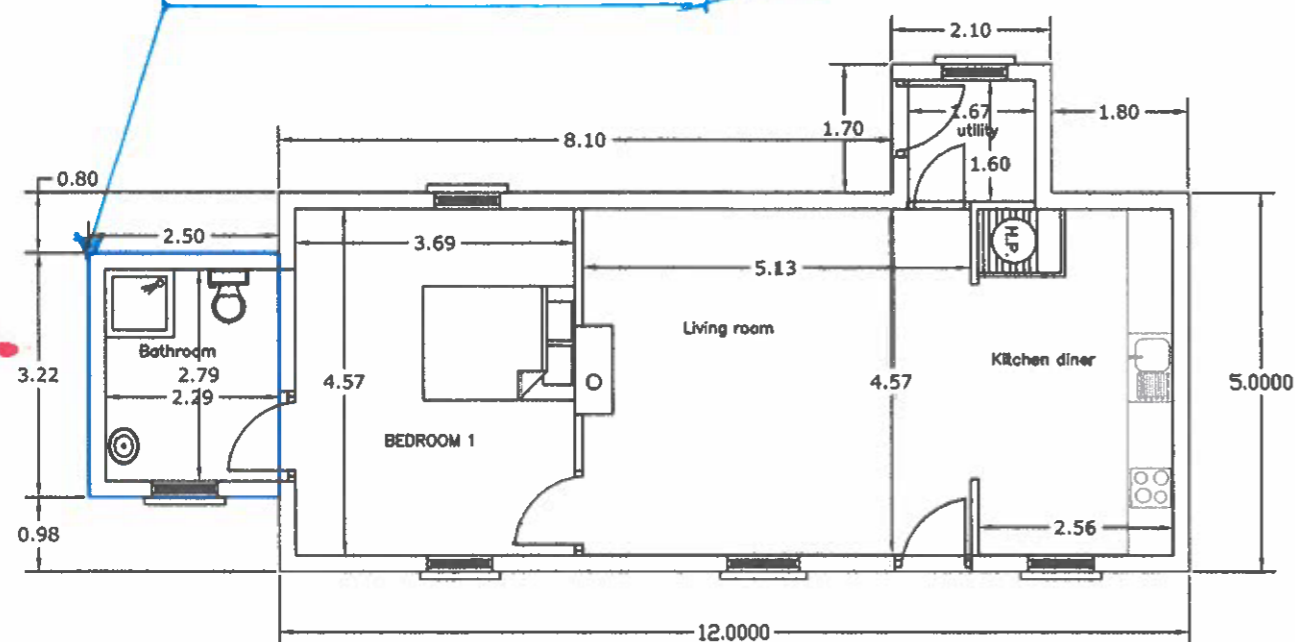
FRONT ELEVATION
SCALE 1 : 100
FRONT ELEVATION

Existing structurally defective
Chimney to be made good

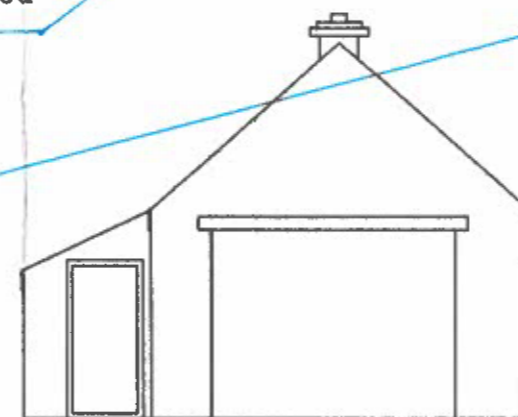


Rear ELEVATION
SCALE 1 : 100

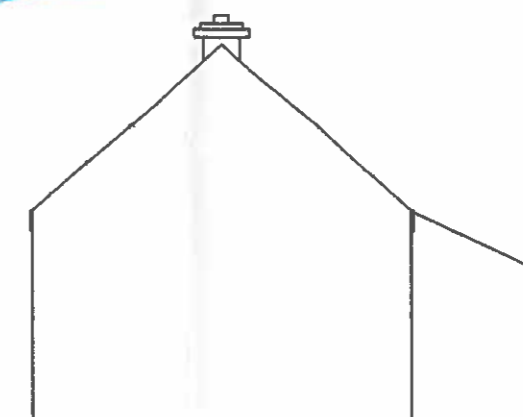
Existing structurally defective
Bathroom to be repaired
outlined in blue



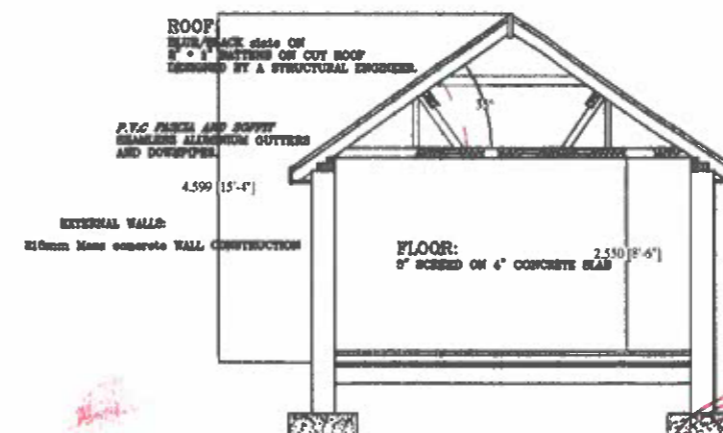
FLOOR PLAN 1 : 100 floor area 63 m2



South ELEVATION
SCALE 1 : 100



North ELEVATION
SCALE 1 : 100



CROSS SECTION
SCALE 1 : 100

Client : Emer Casey

Drawn by : Adam Dybkowski
APC Architects & Engineers Ltd.
Cloontraak,
Castleroa,
Co. Roscommon.

Title :
Existing
Dwelling at
Cloontraak,
Castleroa,
Co. Roscommon.

Scale : 1/100
Date : 09/06/2023
Drawing No : 07/00

