

**From:** Planning Department  
**Sent:** Wednesday 17 May 2023 16:38  
**To:** [REDACTED]  
**Subject:** DED 555 Notification of Decision on Section 5 Declaration.  
**Attachments:** DED 555 Declaration on Development and Exempted Development - Notification of Decision.pdf

A Chara,

Please find attached decision documentation in respect of RCC Planning Ref. No. DED 555 Section 5 Declaration .

Mise le meas,

**Mary Dolan, Administrative Officer, Planning,**  
Áras an Chontae, Roscommon, Co. Roscommon, F42 VR98.  
☎ (090) 6637176 ✉ [marydolan@roscommoncoco.ie](mailto:marydolan@roscommoncoco.ie)  
**Please address all e-mail correspondence to [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)**  
**[www.roscommoncoco.ie](http://www.roscommoncoco.ie)**



Comhairle Contae  
Ros Comáin  
Roscommon  
County Council



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**Correspondence issuing from the Planning Section in Roscommon County Council will generally be in electronic form only, except in instances where an e-mail address has not been provided.**

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**ROSCOMMON COUNTY COUNCIL**

**PLANNING AND DEVELOPMENT ACT, 2000 (as amended)**

**SECTION 5 - DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT**

**NOTIFICATION OF DECISION**

Tom Clyne,  


Reference Number: DED 555

Application Received: 20<sup>th</sup> April, 2023

Location: Cloonfinlough, Co. Roscommon.

WHEREAS a question has arisen as to whether the refurbishment of a cottage house including new flooring, plastering, re-wiring and re-plumbing at Cloonfinlough, County Roscommon, is or is not development or is or is not exempted development.

AND WHEREAS Roscommon County Council, in considering this application, had regard particularly to:

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended);
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Act 2000 (as amended);
- (d) The planning history of the site.

AND WHEREAS Roscommon County Council has concluded that:

- (a) The proposed development constitutes development as defined in the Planning & Development Act 2000, (as amended) and associated Regulations;
- (b) The proposed development is exempted development as defined in the Planning & Development Act 2000, (as amended) and associated Regulations.

**NOW THEREFORE:**

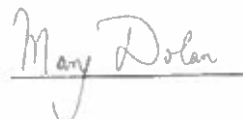
By virtue of the powers vested in me by the Local Government Acts 1925 – 2019 and Section 5(2)(a) of the Planning and Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the application described above, it is hereby declared that the said works consisting of **the refurbishment of a cottage house including new flooring, plastering, re-wiring and re-plumbing at Cloonfinlough, County Roscommon constitutes development that is exempted development** as defined within the Planning and Development Act 2000 (as amended) and associated Regulations.

Any person issued with a Declaration under Section 5 of the Planning and Development Act, 2000 (as amended) may, on payment to An Bord Pleanála of the prescribed fee, refer a Declaration for review within 4 weeks of the date of the issuing of the Declaration.

**ADVICE NOTE**

This Declaration is based on the relevant Planning and Development Act 2000 (as amended) and the Planning and Development Regulations 2001 (as amended) at the date of issue. In the event that the Planning and Development Act 2000 (as amended) or the Planning and Development Regulations 2001 (as amended) change prior to the works being carried out this Declaration may no longer apply.

Signed on behalf of the said Council

A handwritten signature in cursive script, reading "Mary Dolan", written over a horizontal line.

**Administrative Officer,  
Planning.**

**Date: 17<sup>th</sup> May, 2023**

**Planner's Report on application under Section 5 of the  
Planning and Development Acts 2000 - 2011**

**Reference Number:** DED 555

**Name and Address of Applicant:** Application for a Declaration under Section 5 of the Planning & Development Act, 2000, as amended, regarding Exempted Development for the refurbishment of a cottage house including new flooring, plastering, rewiring and re-plumbing at Cloonfinlough, County Roscommon

**Applicant:** Tom Clyne

**Date:** 16<sup>th</sup> May 2023

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WHEREAS a question has arisen as to whether the refurbishment of a cottage house including new flooring, plastering, rewiring and re-plumbing at Cloonfinlough, County Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (a) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (b) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (c) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000, as amended
- (d) The planning history of the site

***Site Location & Development Description***

The subject detached dwelling house is located in Cloonfinlough, County Roscommon and is accessed off the L6053 Local Secondary Road. The subject site is not in, adjoining or in close proximity to any European designated sites. Having regard to the scale of the proposed development and the separation distances between the site and the Natura 2000 network, it is considered that the conservation objectives of the network will not be impacted.

The proposed development consists of the refurbishment of the cottage including new flooring, plastering, rewiring and re-plumbing. As stated in the submitted details, the proposed works are internal works.

***Planning History***

As per the Roscommon County Council GIS, there is no recent planning history on the subject site.

## **Relevant Legislation**

### **Planning and Development Act, 2000 (as amended)**

#### **Section 2 (1)**

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

#### **Section 3 (1)**

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

**Section 4 (2)** of the Planning and Development Act provides that the Minister, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations.

### **Planning and Development Regulations, 2001 (as amended)**

**Article 4(1)(h):** The following shall be exempted developments for the purposes of this Act—*development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*

#### **Article 6:**

Subject to Article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development, provided that such development complies with the conditions and limitations specified in column 2 of Part 1.

#### **Article 9 (1) applies:**

Development to which article 6 relates shall not be exempted development for the purposes of the Act—  
(a) if the carrying out of such development would—

viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site

## **Assessment**

In accordance with the Planning and Development Act, 2000 Section 3. (1) development is defined as the following: “In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land”. The proposed development is considered to be the carrying out of works. Works are defined in the Act as; “works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure....”. It is considered that

said refurbishment of dwelling house including new flooring, plastering, rewiring and re-plumbing constitutes development, as defined in Section 3 of the said Act.

The proposed refurbishment of the cottage house including new flooring, plastering, rewiring and re-plumbing has been considered within the scope of the Planning and Development Regulations, 2001 (as amended), Article 4(1)(h): *The following shall be exempted developments for the purposes of this Act—development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.* The proposed refurbishment of the house including new flooring, plastering, rewiring and re-plumbing in this case is considered to be exempted development.

With Regard to Article 9 (1)(a) of the Planning and Development Regulations it is reasonable to conclude, on the basis of the information available, that the proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the need for AA does not apply with respect to the current case.

I am satisfied that an Environmental Impact Statement or Appropriate Assessment are not required. It should be noted that any development for which Environmental Impact Assessment or Appropriate Assessment is required shall not be exempted development unless specifically exempted in regulations where there is provision in other legislation for the carrying out of EIA or AA. In addition, the restrictions on exemption Art 9 (1)(a) (viiB) exclude development which would otherwise be exempted development under these regulations where an AA is required.

#### **Recommendation**

WHEREAS a question has arisen as to whether the refurbishment of a cottage house including new flooring, plastering, rewiring and re-plumbing at Cloonfinlough, County Roscommon is or is not development and is or is not exempted development.

I have considered this question, and I have had regard particularly to –

- (e) Sections 2, 3, 4 and 5 of the Planning and Development Act, 2000, as amended
- (f) Articles 6 and 9 of the Planning and Development Regulations, 2001, as amended
- (g) The record forwarded to Roscommon County Council in accordance with subsection (6)(c) of Section 5 of the Planning and Development Acts 2000, as amended
- (h) The planning history of the site

#### **AND WHEREAS I have concluded that**

- a) The works are development.
- b) The refurbishment of the cottage house including new flooring, plastering, rewiring and re-plumbing is exempted development.
- c) The proposed development individually and in combination with other plans or projects would not be likely to have a significant effect on any European site and that the requirement for AA or EIAR does not apply with respect to the current case.

and I recommend that a declaration to that effect should be issued to the applicant.

  
**Signed:**  
Assistant Planner

**Date:** 16<sup>th</sup> May 2023







Tom Clyne,



**Date:** 21<sup>st</sup> April, 2023.  
**Planning Reference:** DED 555

**Re:** Application for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development.

**Development:** The refurbishment of works of cottage house including new flooring, plastering, rewiring and replumbing at Cloonfinlough, Co. Roscommon.

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A Chara,

I wish to acknowledge receipt of your application received on the 20<sup>th</sup> April, 2023, for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended), regarding Exempted Development along with the appropriate fee in the sum of €80.00 Receipt No. **L01/0/222261** dated 20<sup>th</sup> April, 2023 refers, receipt enclosed herewith for your attention.

**Note:** Please note your Planning Reference No. is **DED 555**.  
This should be quoted in all correspondence and telephone queries.

Mise le meas,

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**Administrative Officer,  
Planning.**

Roscommon County Council  
Aras an Chontae  
Roscommon  
09066 37100

20/04/2023 09:51:38

Receipt No : L01/0/222261

TOM CLYNE

EXEMPTED DEVELOPMENT

PLANNING APPLICATION FEES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	
DED555	

Total : 80.00 EUR

Tendered :	
Credit/Debit Card	80.00
0368	

Change : 0.00

Issued By : Louis Carroll  
From : Central Cash Office



Comhairle Contae  
Ros Comáin  
Roscommon  
County Council




Áras an Chontae,  
Roscommon,  
Co. Roscommon.

Phone: (090) 6637100

Email: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie)

## Roscommon County Council

### **Application for a Declaration under Section 5 of the Planning & Development Act 2000, regarding Exempted Development**

Name: <i>Tom Clyne</i>	
Address: 	
Name & Address of Agent:	
Nature of Proposed Works	<i>The refurbishment of works of cottage house including new flooring, plastering, rewiring and replumbing at above address.</i>
Location (Townland & O.S No.)	<i>Cloonfintough, Co. Roscommon.</i>
Floor Area	<i>34ft x 15.5ft wide.</i>
Height above ground level	<i>10ft.</i>
Total area of private open space remaining after completion of this development	<i>(see attached map).</i>
Roofing Material (Slates, Tiles, other) (Specify)	<i>Slated already - needs insulation</i>
Proposed external walling (plaster, stonework, brick or other finish, giving colour)	<i>Plastered.</i>
Is proposed works located at front/rear/side of existing house.	<i>Internal.</i>



## Roscommon County Council

Application for a Declaration under Section 5 of the Planning & Development Act 2000,  
regarding Exempted Development

Has an application been made previously for this site	NO .
If yes give ref. number (include full details of existing extension, if any)	/
Existing use of land or structure	Vacant, derelict house .
Proposed use of land or structure	Residential .
Distance of proposed building line from edge of roadway	4m from road .
Does the proposed development involve the provision of a piped water supply	Yes , existing .
Does the proposed development involve the provision of sanitary facilities	Yes , existing .

Signature: Tam Clynne

Date: 20.4.23

**Note:** This application must be accompanied by:-

- (a) €80 fee
- (b) Site Location map to a scale of 1:2500 clearly identifying the location
- (c) Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- (d) Details specification of development proposed

James Lohan Consulting Engineer Ltd,  
Unit 5,  
Ballypheason House,  
Circular Road  
Roscommon F42 C982  
Ph: 0906634365 Mob: 0878228529  
E: [james@jlce.ie](mailto:james@jlce.ie) Web: [www.jlce.ie](http://www.jlce.ie)



# **BUILDING CONDITION ASSESSMENT**

## **DWELLING HOUSE AT**

Cloonfinlough,  
Co. Roscommon.

Engineer: James Lohan BEng MIEI

Client: Tom Clyne

Date: 28<sup>th</sup> November 2022

Our Ref: 22-562



**CONTENTS PAGE:**

- (1.0) Introduction**
- (2.0) Description**
- (3.0) Construction and Condition**
- (4.0) Services**
- (5.0) Environmental and Other Issues**
- (6.0) Survey**
- (7.0) Engineers Overall Assessment**





## **1.0 INTRODUCTION**

### **1.01 Scope of Instructions**

We were commissioned by Tom Clyne potential purchaser, to attend a site that contains a detached dwelling house and undertake a visual inspection. Specifically, we were asked to comment upon the following:

- Structure and state of the dwelling house
- Boundaries

This report is for the private and confidential use of Tom Clyne potential purchaser for whom the report is undertaken and should not be reproduced in whole or part or relied upon by third parties without the express written authority of James Lohan Consulting Engineer Ltd.

No tests/survey were carried out on electrical, plumbing, sanitary, or heating installations.

### **1.02 Date of Inspection**

The property was inspected by James Lohan BEng MIEI on the 28<sup>th</sup> November 2022.

### **1.03 Weather**

The weather at the time of the inspection was cold and dry.

### **1.04 Limitations of Inspection**

The contents of this report are strictly confined to comments concerning those terms outlined in the clients brief above.

The report should not be construed as a valuation or home buyers report and is not an inventory of every single defect, some of which would not significantly affect the use of the property. If the report does refer to some minor defects, this does not imply that the building is free from other such defects. We did not expose any other part of the structure that was covered, unexposed or inaccessible and we are therefore unable to



report that any such part of the property is free from defect.

We have not inspected the ground floor slab or foundations. The following is not intended to be an exhaustive list of minor defects and any purely significant structural defects apparent from a visual inspection will be addressed. Further defects may be encountered upon more extensive investigation, involving exposure of structural elements etc.



## **2.0 DESCRIPTION**

### **2.01 Orientation**

For ease of reference in the report I have assumed that the front of the property faces south.

### **2.02 Type and Age**

The property comprises detached house which was constructed circa 1930's.

### **2.03 Accommodation**

The accommodation is as follows:

Floor Plan: Bedroom, Sitting Room, Living Room, Bathroom and Utility/ Garage extension to rear on Ground Floor. Two Bedrooms and Landing area on First Floor.

Outside: Drive to front with garden.

### **2.04 Location**

On a large site off a local road.

### **2.05 Site and Surrounding Area**

The site is relatively flat. The geological survey map for the area indicates that the subsoil is of a gleys. However, because of the scale of the map and localized variations I was unable to confirm that the subsoil under the property is of this type.





### **3.0 CONSTRUCTION AND CONDITION**

#### **3.01 Main Roof**

The main roof is a cut timber roof. It is covered with natural slates and does not have a felt layer fitted. The roof looks to be structurally in good condition however, some further opening up works is required so that timbers can be properly inspected. At a minimum I would expect that this roof should be stripped, felted and slated and all slopes and ceilings in the first floor area will need to be insulated.

#### **3.02 Other Roofs**

There is a metal sheet cladding on the rear utility/ garage extension. This will need upgrading if this area is to be incorporated into the habitable area of the house.

#### **3.03 Chimney Stacks**

There are two chimneys in the property. One chimney is cracked and is seeping at high level, with a vertical crack running to low level in the living room.

#### **3.04 Foundations and External Walls**

I was unable to inspect the foundations but due to age of house would doubt that they are present. External walls are solid with external and internal render. The walls are in poor condition with damp at low level in all rooms. Render is in poor condition and will need to be replaced.

#### **3.05 Damp Proof Courses**

I would not expect there to be a functioning DPC in a house of this age.

#### **3.06 Internal Walls and Partitions**

Internal walls are solid and are generally in ok structural condition. There were one or two structural cracks noted and these will need to be

repaired.

### **3.07 Fireplaces and Chimney Breasts**

A detailed inspection of the flues was not possible. It is generally impossible to establish, from a visual inspection, whether fireplaces or flues function satisfactorily or are subject to problems. Specialist tests and investigations would be necessary to confirm that problems do not exist under any circumstances.

### **3.08 Floors**

There is a solid concrete floor in need of new finishes. I would recommend the floor is taken out and replaced with a new floor screed, insulation and DPM fitted.

### **3.09 Ceilings**

The ceilings are timber ceiling joist with plaster board and skim finish. The ceilings are structurally in ok condition but will need to be upgraded with new plaster slabs and skim fitted.

### **3.10 Windows, Doors**

The windows and doors need to be upgraded.



## **4.0 SERVICES**

### **4.01 General**

The inspection of the service installations was of a superficial nature and no tests have been arranged. These should be carried out by appropriate specialists if assurance as to the condition or capability is required.

### **4.02 Electrics**

The house needs to be re-wired.

### **4.03 Heating**

The house needs a new heating system.





## **5.00 ENVIRONMENTAL AND OTHER ISSUES**

### **5.01 Thermal Insulation**

The house needs to have roof insulation, sloped roof insulation and wall insulation fitted.

### **5.02 Ventilation**

There is no provision for ventilation and either window vents, mechanical vents or wall vents should be fitted.

### **5.03 Condensation**

Condensation is a problem found, to varying degrees, in most homes. It is the result of relatively high levels of moisture in the atmosphere of the rooms forming as water droplets on cold surfaces as the temperature falls. It tends to be most severe in properties that are poorly insulated, where temperatures fluctuate and high levels of water vapour are produced. Condensation problems will vary according to living conditions. It is relatively simple to eliminate and can normally be minimized by good insulation, fairly constant heat and adequate ventilation.

### **5.04 Services**

The house is connected to mains water and has its own septic tank. The septic tank is located in the ear garden and I would envisage some upgrade works will be required to same.

### **5.05 Boundaries**

The boundaries on the ground match the proposed map for the property.

## **7.00 ENGINEERS'S OVERALL ASSESSMENT**

### **7.01 Summary of Defects**

For ease of reference I set out below a list of the main points mentioned in the report.

- 1) Roof upgrades required.
- 2) Repairs to walls and rising damp required.
- 3) New floors required with damp proof coursing and insulation.
- 4) New doors and windows to be fitted.
- 5) Re-wiring of the property.
- 6) Re-plumbing of the property.
- 7) Complete redecoration.

### **7.02 Engineers' Overall Opinion & Recommendations**

Based on visual inspection of the dwelling we comment as follows:

The general structure of the property is ok but there are some elements that will need to be upgraded as per the list of defects listed above.

Signed : James Lohan BEng MIEI



## **APPENDIX A: Limitations Applying to Our Professional service**

### **LIMITATIONS APPLICABLE TO PRE-ACQUISITION INSPECTIONS AND REPORTS**

#### **1. Concealed Parts**

If we observe evidence to suggest that concealed parts of the structure and fabric might be defective, we will advise you accordingly and make recommendations for further investigations. However, unless otherwise instructed by you, we will not open-up for inspection any permanently enclosed or concealed parts of the structure and fabric. Thus, as the inspection was visual and superficial only, no account could be taken of any work covered up or in inaccessible areas. It should be further noted that the author of this report did not supervise the construction of the above premises and no account could be taken of any structural detail or elements concealed within the premises/construction.

#### **2. Deleterious and Hazardous Materials**

We will advise you if we consider that there exists a significant possibility that deleterious or hazardous materials, as per Appendix B, exist at the property. Unless otherwise instructed, we will not undertake, or commission, inspections or laboratory tests to confirm the extent and precise nature of any deleterious and hazardous materials that might be present.

#### **3. Services Installations**

Our report on the services installations will be based on a cursory inspection only in order to include a general description. We will not test any of the installations. Unless otherwise instructed, we will not commission the inspection and testing of any installations by specialist consulting engineers. The complete electrical and mechanical system within the structure should be checked by a suitable qualified contractor to make sure they meet current standards.

A specialist inspection of the drainage system comprising hydrostatic testing and CCTV survey should be undertaken. This is recommended on all property purchases due to the risks to founding soils associated with defective drainage systems. Environmental investigation and appraisal is excluded.

#### **4. Building Occupancy**

Access to some areas could be restricted or denied. If we find that our inspection has been excessively limited, we will advise you accordingly and seek your further instructions. Our report will list any significant internal and external areas that we are unable to inspect.

#### **5. Land Contamination**

We will not make any formal enquiries or carry out investigations into the potential contamination of the site or neighbouring land. If, after our inspection, we consider that further detailed investigation is appropriate, we will inform you accordingly.

#### **6. Compliance with Legislation**





Our inspection will involve a general review of the state of compliance with statutory requirements such as the Building Regulations, Workplace Regulations, Fire Regulations and the Equal Status Act. However, compliance with these regulations often requires a more detailed study and involves the preparation of a detailed risk assessment. Such studies and risk assessments are beyond the scope of the type of inspection and report proposed.

## **7. Liability and Confidentiality**

Our building inspection report may be relied upon by the client only and is to whom we owe a duty of care. Our report must not be passed for information, or for any other purpose, to any third party without our prior written consent, which consent will not be unreasonably withheld or delayed. Such consent shall not entitle the third party to place any reliance on the report and shall not confer on any third party any benefit or right.

As set out in the Conditions of Engagement Agreement RA 9101 to which this contract relates, the liability of the consulting engineer under or in connection with this Agreement whether in contract or in tort, in negligence, for breach of statutory duty or otherwise (other than in respect of personal injury or death) shall be limited. In the absence of such an agreement, such sum shall be deemed to be €635,000 or ten times the total fee under this Agreement, whichever is lesser. The said limit shall be in respect of a single act, omission or statement, other than with regards to claims in respect to pollution or contamination where the said limit shall be an annual aggregate limit. In regard to pollution or contamination liability as determined by the aggregate or balance thereof shall be further limited to the lesser of (i) the direct costs reasonable incurred by the Client in cleaning up the site of the project or the Works as the case may be or any part thereof or (ii) the amount, if any, recoverable by the Consulting Engineer under any professional indemnity insurance policy taken out by the Consulting Engineer.

The liability of the Consulting Engineer to the Client expires after the expiration of such period of time as is stated in the Agreement from the issue of the certificate of Practical Completion to the Contractor or, where there is no such certificate, from the issue of such other record stating or indicating that the Works are substantially complete unless in the mean time the Client has made claim in writing upon the Consulting Engineer, specifying the negligent act, omission or statement said to have caused the alleged loss or damage sustained or sustainable. If no such period of time is stated elsewhere in the agreement it shall be deemed to be 6 years.

## **8. Cracks, Settlement and Subsidence**

This report is the result of a survey carried out in one visit. Monitoring of crack movement was not part of the initial brief; hence it was not possible to determine if cracks, where they exist, are live. The structure was not monitored for settlement.

## **9. Wet & Dry Rot**

The exterior of the premises, including roof coverings was inspected from ground level only. No responsibility is accepted for conclusions drawn in respect of the presence or absence of dry rot, wet rot, woodworm and or beetle infestation in timbers or any other materials in the structure. A specialist firm should be engaged to address these issues, which may well involve opening works, permission for which would have to be provided by the vendors/building owners.



## APPENDIX B: Deleterious Materials

Since the early 1980s the property and construction industry has evolved and adopted a list of materials, which, for one reason or another, have been labelled deleterious and/or hazardous to health and safety. Some of these materials only become deleterious and hazardous due to the particular circumstances of their use and are not inherently deleterious or hazardous in themselves. Materials that have been branded “deleterious” have usually been so classed because they either:

- (a) pose a direct risk to the health and safety of persons occupying or visiting a particular property (e.g. asbestos) or
- (b) can be detrimental to the structural performance of a building (e.g. High Alumina Cement in concrete) or
- (c) are generally perceived by the property investment market as undesirable features of a building, which can affect the liquidity of the property concerned (e.g. calcium silicate bricks) or, in the case of composite panels, its insurability.

Some deleterious materials might fall into more than one of the forgoing three categories above. Few of the deleterious materials given below can be detected with the naked eye alone. Sampling and testing of a component or element is required to confirm the presence, or absence of a material. As the inspection was visual and superficial only, no account could be taken of the existence of deleterious material within the structure.

At present, the list of deleterious and problematic materials comprises the following:

- Pyrite.
- Composite Cladding Panels to roofs and walls.
- Nickel Sulphide inclusions in toughened glazing.
- High Alumina Cement (HAC) when used in load-bearing concrete components and elements.
- Chloride additives when used in pre-cast or in situ cast concrete.
- Calcium Silicate Bricks or Tiles (also known as sand/lime or flint/lime bricks).
- Mundic Blocks and Mundic Concrete.
- Woodwool slabs when used as permanent shuttering to in situ cast structural concrete.
- Lead based in paint when the paint concerned could be used in locations that could result in the ingestion, inhalation or absorption of the material.
- Lead used for drinking water pipe work except when used as solder to pipe fittings.
- Sea dredged aggregates or other aggregates for use in reinforced concrete which do not comply with British Standard 882: 1992 and aggregates for use in concrete which do not comply with the provisions of British Standard Specification 8110: 1985.
- Asbestos in any raw form or asbestos based products.
- Manmade mineral fibres in materials when these fibres are loose and have a diameter of 3 microns or less and a length of between 5 and 100 microns.
- Urea Formaldehyde Foam





# PHOTO SURVEY

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Wednesday, 30 November 2022

Prepared For

13 Photos Identified



## 6.01

### Location Front Elevation

No structural defects noted in walls- render is in poor condition. Windows and doors should be upgraded.

Original slates still on roof and roof should be stripped and re-slatted with a felt layer added.

Ground level outside is higher than floor level and will need to be reduced - a French drain should be added to perimeter of house.



## 6.02

### Location Side Elevation

No structural defects noted in walls- render is in poor condition. Windows and doors should be upgraded.

Original slates still on roof and roof should be stripped and re-slatted with a felt layer added.

Ground level outside is higher than floor level and will need to be reduced - a French drain should be added to perimeter of house.





### 6.03

#### Location Rear Elevation

No structural defects noted in walls- render is in poor condition. Windows and doors should be upgraded.

Original slates still on roof and roof should be stripped and re-slatted with a felt layer added.

Ground level outside is higher than floor level and will need to be reduced - a French drain should be added to perimeter of house.



### 6.04

#### Location Side Elevation

No structural defects noted in walls- render is in poor condition. Windows and doors should be upgraded.

Original slates still on roof and roof should be stripped and re-slatted with a felt layer added.

Ground level outside is higher than floor level and will need to be reduced - a French drain should be added to perimeter of house.







#### 6.05

Location Living Room

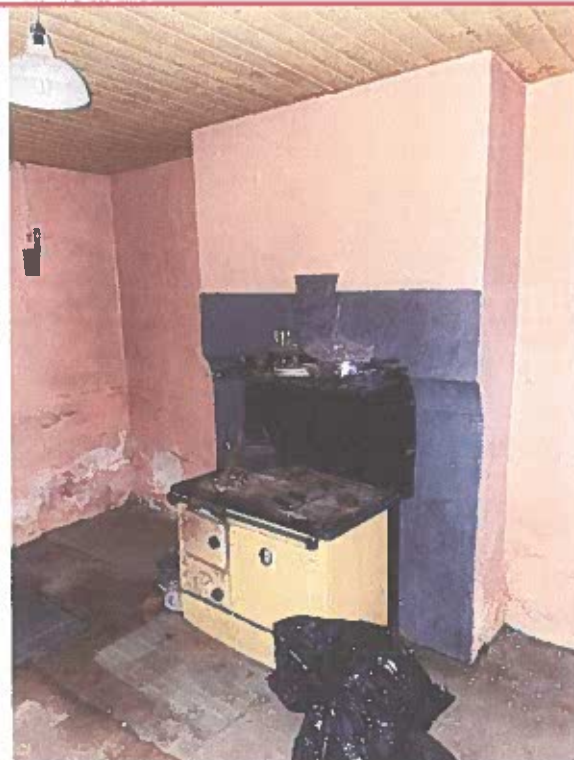
Structural crack in wall adjacent chimney

Damp at low level in walls and floor.

Floors will need replacing and a new floor with DPM, insulation and screws should be fitted.

French drain should be fitted to perimeter of external wall.

External wall should be externally insulated.



#### 6.06

Location Sitting Room

Damp at low level in walls and floor.

Floors will need replacing and a new floor with DPM, insulation and screws should be fitted.

French drain should be fitted to perimeter of external wall.

External wall should be externally insulated.





#### 6.07

Location Bedroom

Damp at low level in walls and floor.

Floors will need replacing and a new floor with DPM, insulation and screws should be fitted.

French drain should be fitted to perimeter of external wall.

External wall should be externally insulated.



#### 6.08

Location Bathroom

Damp at low level in walls and floor.

Floors will need replacing and a new floor with DPM, insulation and screws should be fitted.

French drain should be fitted to perimeter of external wall.

External wall should be externally insulated.





#### 6.09

Location Hall

Damp at low level in walls and floor.

Floors will need replacing and a new floor with DPM, insulation and screws should be fitted.

French drain should be fitted to perimeter of external wall.

External wall should be externally insulated.



#### 6.10

Location Landing

Chimney seeping and cracked.

Ceilings have timber on them - there is no felt or insulation fitted to roof.







### 6.11

Location Bedroom

Walls damp under window.

Ceilings have timber on them -  
there is no felt or insulation fitted to  
roof.



### 6.12

Location Bedroom

Ceilings have timber on them -  
there is no felt or insulation fitted to  
roof.





### 6.13

Location Rear Extension

No structural defects noted - the room will need significant alterations to be made habitable - Namely roof, walls, plumbing, electrics.





590850 mE, 778990 mN

The Property  
Registration Authority  
An tÚdarás  
Clárúcháin Maoine



Folio: [REDACTED]

This map should be read in conjunction with the folio.

Registry maps are based on OSI topographic mapping. Where registry maps are printed at a scale that is larger than the OSI published scale, accuracy is limited to that of the original OSI map scale.

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(centre-line of parcel(s) edged)

Freehold

Leasehold

SubLeasehold

Burdens (may not all be represented on map)

Right of Way / Wayleave

Turbary

Pipeline

Well

Pump

Septic Tank

Soak Pit



A full list of burdens and their symbology can be found at:  
[www.landdirect.ie](http://www.landdirect.ie)

The registry operates a non-conclusive boundary system. The Registry Map identifies properties not boundaries meaning neither the description of land in a register nor its identification by reference to a registry map is conclusive as to the boundaries or extent. (see Section 85 of the Registration of Title Act, 1964). As inserted by Section 52 of the Registration of Deeds and Title Act 2006

AREA PLOT 'A' OUTLINED RED &  
SHADED GREEN = 0.20 HEC/  
0.49 ACRES OR THEREABOUTS  
Signed: James O'Connell  
22-11-2022



## Advice regarding planning permission

Planning Department <Planning@roscommoncoco.ie>  
To: Thomas Clyne   
Cc: Planning Department <Planning@roscommoncoco.ie>

Wed, Apr 19, 2023 at 10:52 AM

Dear Mr. Clyne,

I refer to your email dated 12/04/2023.

If you wish for the Planning authority to provide a determination as to whether or not your proposed development is/is not exempted development you may apply for a Section 5 Declaration of Exempted Development.

In order to apply for a Section 5 Declaration, it is necessary for the applicant to submit the following:

- Site Location map to a scale of 1:2500 clearly identifying the location
- Site Layout plan to the scale of 1:500 indicating exact location of proposed development
- Detailed specification of development proposed
- €80.00 fee

The planning authority shall issue the declaration, within 4 weeks of receipt of the request. The planning authority may require further information to be submitted to enable the authority to issue the declaration. In this regard, a declaration shall issue within three weeks of the receipt of this further information.

I attach hereto an application form for a Section 5 Declaration for your convenience.

Regards,

Caroline Mockler



Caroline Mockler | Senior Staff Officer | Roscommon County Council  
☎: (090) 6637100 | ✉: [planning@roscommoncoco.ie](mailto:planning@roscommoncoco.ie) | [www.roscommoncoco.ie](http://www.roscommoncoco.ie)  
Aras an Chontae, Roscommon, Co. Roscommon. F42 VR98 **MAP LOCATION**