

**CONSTRUCTION OF NEW LIBRARY BUILDING, BOYLE,
CO. ROSCOMMON
Environmental Impact Assessment - Screening Report**



**PREPARED FOR
ROSCOMMON COUNTY COUNCIL**

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1. INTRODUCTION

Roscommon County Council are proposing to construct a new library building and amenity area in the centre of Boyle town. The site is situated to the rear of the Royal Hotel and on the southern side of the River Boyle.

Where certain projects are being progressed by the Local Authority, consent is applied for under Part 8 of the Planning and Development Regulations 2006 (as amended) and the procedure is set out in Section 179 of the Planning and Development Acts 2000 (as amended).

Under Article 80(1) of the Planning and Development Regulations 2001 (as amended), this library building project requires the application of Part 8 procedures.

In line with Part 8 application requirements, a Screening for an Environmental Impact Assessment Report (EIAR) must be undertaken.

The purpose of this screening report is to determine whether an EIAR is required for the construction of the new library building.

2. PROJECT SITE

2.1 Location and Setting



Figure 1 – Aerial view of proposed site

The proposed site for the new library building is situated in the centre of Boyle town downstream of Boyle River Bridge. It is situated to the rear of the Royal Hotel which is currently undergoing extensive renovations. An amenity area will also be constructed to the east of the library building. The site is currently vacant. The project does not require the demolition of any buildings on site.

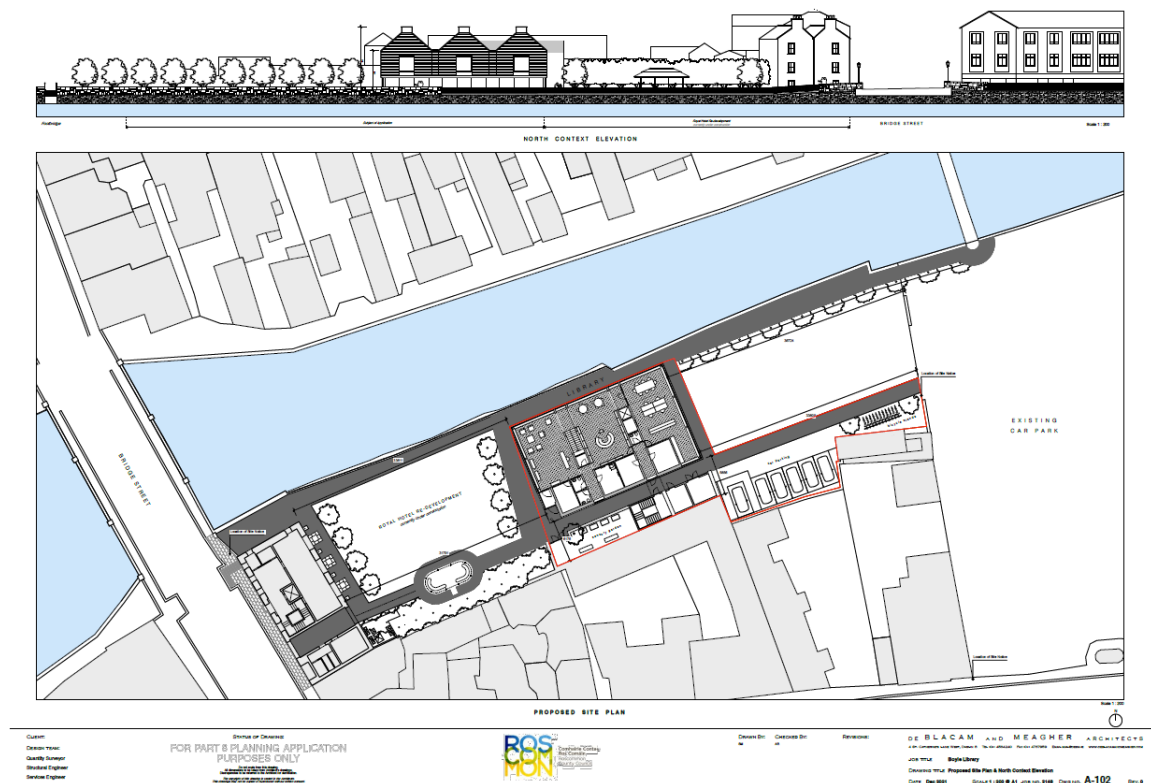


Figure 2 – showing site plan and elevations of proposed library building

2.2 Description of the scheme proposals

Roscommon County Council are proposing to construct a new library building on a vacant site to the rear of the Royal Hotel. The site is situated on the southern side of the River Boyle. The proposed building will be two-storey in height. A public amenity area will be constructed to the east of the library building.

Within the site boundary there are no natural habitats present. The habitat on site is classified as Buildings and Built Surfaces (BL3) in Fossitt (2000).

The river bank has been altered significantly to control the flow of river through the town. There are manmade stone-built banks in the vicinity of the proposed site.

No major excavation work is required. Drainage for the site will be managed by the existing surface water drainage system.

3. EIA SCREENING PROCESS

3.1 EIA Screening Methodology

The information used to inform this report includes desk studies and site assessments. In addition, the following legislation and guidance documentation has been used:

- Department of Housing, Planning and Local Government (August 2018) Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment;
- Department of the Environment, Heritage and Local Government (August 2003), Environmental Impact Assessment (EIA) Guidelines for Consent Authorities regarding Sub-threshold Development;
- Environmental Protection Agency (August 2017) Guidelines on the Information to be contained in Environmental Impact Assessment Reports;
- European Commission (2017) Environmental Impact Assessment of Projects. Guidance on Screening.
- European Commission (2015) Interpretation of definitions of project categories of Annex I and II of the EIA Directive;
- EIA (Amendment) Directive 2014/52/EU;
- Planning and Development Regulations 2001 – 2018;

An EIA is required in one of three circumstances:

- (i) The proposed development is of a class specified in Part 1 of Schedule 5 of the Planning and Development Regulations, 2001 (as amended) and exceeds any specified relevant quantity area or other limit specified; or
- (ii) The proposed development is of a class specified in Part 2 of Schedule 5 of the Planning and Development Regulations, 2001 (as amended) and exceeds any specified relevant quantity, area or other limit as specified; or
- (iii) The proposed development is of a class specified in Part 2 of Schedule 5 of the Planning and Development Regulations, 2001 (as amended), does not exceed the relevant quantity area or other limit, but having conducted a screening it is determined that the proposed development would nevertheless be likely to have significant effects on the environment as determined by reference to criteria specified in Schedule 7 of the Planning and Development Regulations, 2001 - 2018.

3.2 Legislative Context

The EIA Directive 2011/92/EU on the assessment of the effect of certain public and private projects on the environment, as amended by EIA Directive 2014/52/EU, sets out the process by which the likely significant effects of a project on the environment are assessed. The relevant requirements of the EIA Directive have been implemented into Irish law pursuant to the provisions of the Planning and Development Regulations 2001 - 2018.

The provisions of Schedule 5 of the Planning and Development Regulations 2001 - 2018 identify the requirement of an EIA for different project types. Part 1 of Schedule 5 identifies projects of a class that will always have the potential for significant

environmental effects and therefore will always require an EIA (Annex I of the EIA Directive).

Part 2 of Schedule 5 identifies projects that may have an environmental impact and thresholds, or criteria, have been set by member states for the requirements of EIA for these project types (Annex II of the EIA Directive).

Annex III of the EIA Directive provides the criteria used to determine whether the project listed in Annex II should be subject to an Environmental Impact Assessment. Annex III of the EIA Directive has been replaced by a new Annex III in the 2014 Amendment Directive and transposed into Irish Law in Schedule 7 of S.I. No. 296 of 2018 – European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018.

The EIA Amendment Directive states that in order to ensure a high level of protection of the environment and human health, screening procedures should take account of the full project life cycle impacts including where relevant, the project's subsurface, any demolition phase and the construction and operational stages.

In this regard, it is appropriate to specify the content of the screening decision, in particular where no environmental impact assessment is required. The screening procedure should ensure that an environmental impact assessment is only required for projects likely to have significant effects on the environment.

4. EIA SCREENING

The European Commission's "*Guidelines for Screening*" were published in 2017 with full consideration of the 2014 Directive and these guidelines identify a number of steps involved in deciding whether an EIA is required for a Project.

The European Commission's "*Guidelines for Screening*" states that, "*the determination of whether a Project should be made subject to an EIA must be made through a case-by-case examination or thresholds or criteria set by the Member State or a combination of the two approaches*" and that "*the need for an EIA is based on specific measures and/or limits, according to predefined criteria, when applying thresholds and/or criteria.*"

Alternatively, "*through case-by-case examination the need for EIA is assessed through a unique procedure for each Project. A case-by-case examination method is by nature discretionary, compared to thresholds and/or criteria.*"

EIA is an increasingly important element of European Union environmental policy. The EIA Directive requires that both public and private projects that are likely to have significant effects on the environment be made subject to an assessment prior to development consent being given.

EIA is a process to be undertaken in respect of application for specified classes of development listed in the Directive before a decision in respect to development consent is made.

For a project to require an EIA it must come within one of the categories in Annex I or Annex II of the Directive.

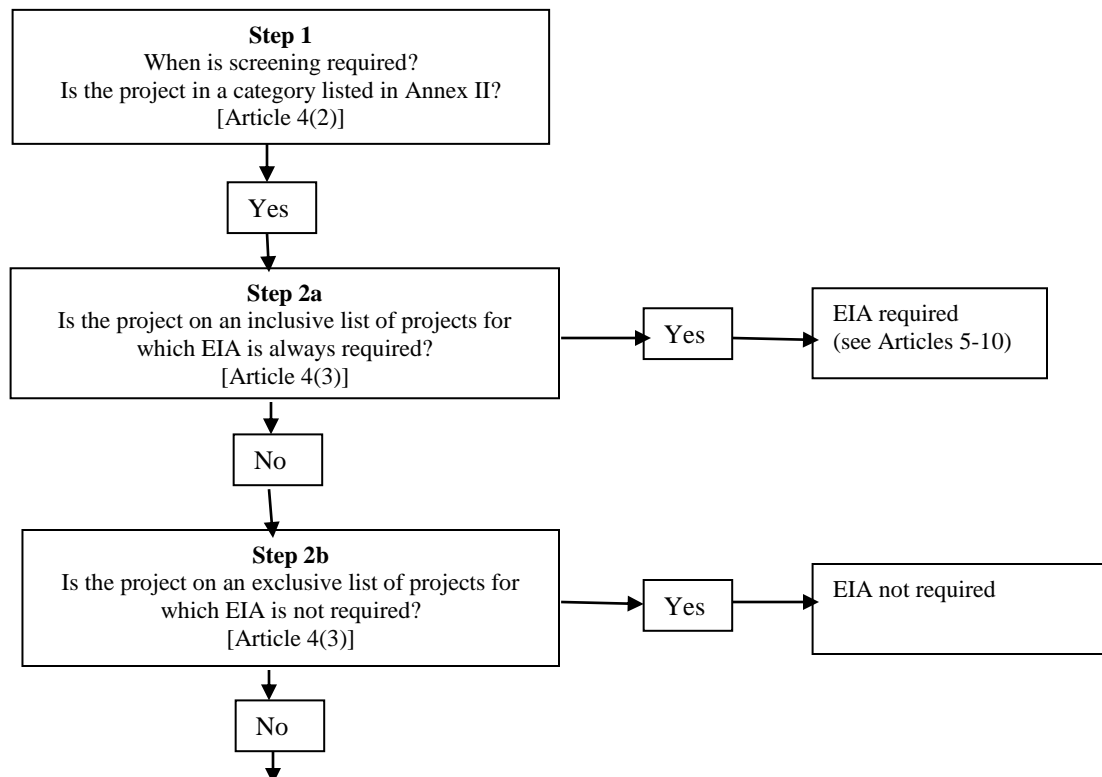
Screening is the initial stage in the EIA process and determines whether or not specified public or private developments are likely to have significant effects on the environment, and, as such, require EIA to be carried out prior to a decision on the development consent application being made.

The first step is to decide whether a proposed development falls within a class set out in Annex I or II of the Directive.

ANNEX I – All projects listed in Annex I are considered as having significant effects on the environment and require mandatory EIA (eg long-distance railway lines, motorways, airports with runways >2100m, installations for the disposal of hazardous waste, waste water treatment plants).

ANNEX II – National Authorities decide whether an EIA is needed. This is done by the Screening Procedure” which determines the effects of projects on the basis of thresholds/criteria or a case by case examination. The projects listed in Annex II are in general those not included in Annex I (railways, roads, water disposal installations, waste water treatment plants), but also other types such as urban development projects, flood relief works, changes to Annex I and Annex II projects.

The construction of the proposed Boyle library building does not fall into either Annex I or Annex II. It is an urban regeneration project but would be classified as a small scale project.



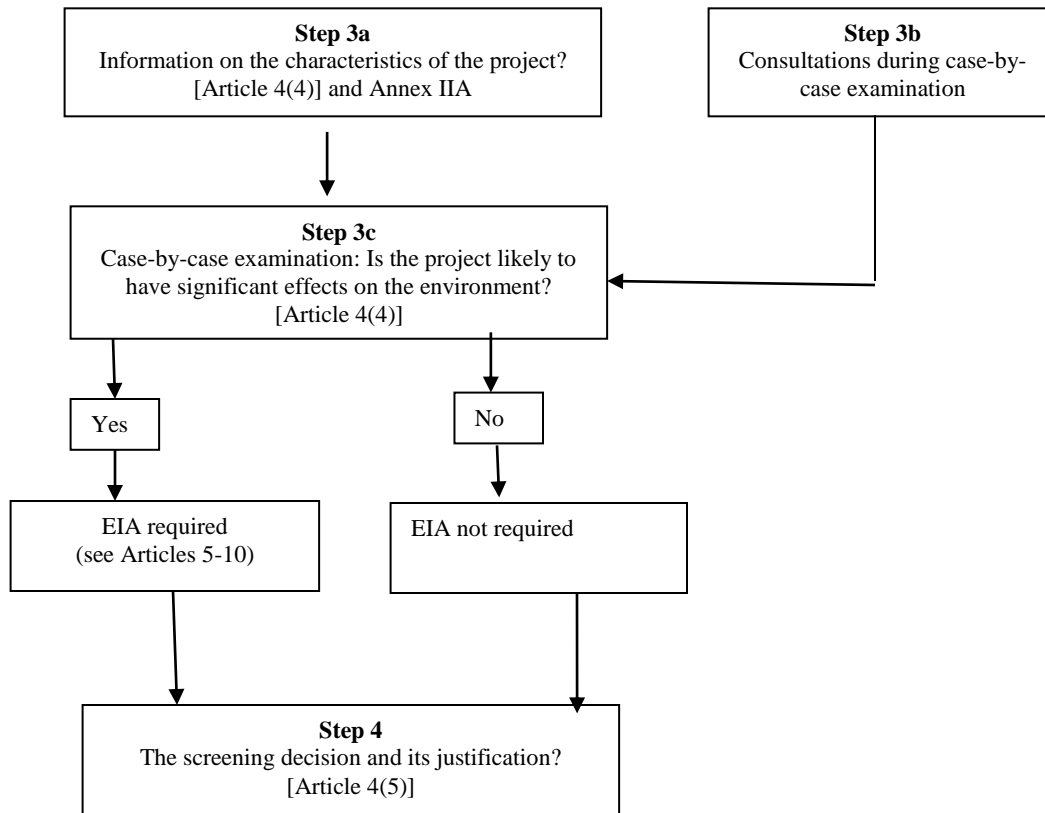


FIGURE 3: Steps in deciding whether an EIA is required for a project (EC, 2017)

These guidelines have been used to determine whether an EIA is required for the proposed construction of Boyle Library building in Table 1 as follows:

STEPS	CONCLUSION
Is the project in a category listed in Annex I or Annex II of the EIA Directive	No
Is the project likely to have a significant effect on the environment?	No
Screening Decision	EIAR not required

TABLE 1: Steps in deciding whether an EIA is required for the construction of Boyle Library building (EC, 2017)

5. SCREENING DECISION AND CONCLUSION

This Screening Report has been carried out in accordance with the relevant legislation and guidance documentation. The resulting Screening Decision is that an Environmental Impact Assessment is not required for the proposed construction of Boyle Library project. This decision is based on the fact that the proposed project is not contained within a category listed in Annex I or Annex II of the EIA Directive (or Part 1 or Part 2 of Schedule 5 of the Planning and Development Regulations, 2001 as amended), nor will it have an impact on a Natura 2000 site.

Considering the EIA Screening above, it is concluded that there is no potential for significant impact on the environment from the proposed project hence there is no requirement for Roscommon County Council to conduct an EIA in respect of the proposed new library building in Boyle, Co. Roscommon.